Norwescap- C4E Tenant Interior Remodeling Project

37 Main St Sussex, NJ 07461

Project Directory

Project Manager:

Norwescap 37 Main Street Sussex, NJ 07461

Project Manager

Architect:

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CODE/BUILDING INFORMATION

APPLICABLE CODES:	New Jersey Uniform Construction Code (NJUCC, NJAC 5:23-3.14) N.J.A.C. Rehabilitation Subcode - NJAC 5:23-6
	BUILDING SUBCODE (NJAC 5:23-3.14) International Building Code/2021, NJ ed (IBC w/ NJ edits from 3.14) Other referenced I-Codes (IFC/2021; ISPSC/2021; etc.) Other referenced ICC Standards (ICC/ANSI A117.1-2017; ICC 300-2017; etc.)
	PLUMBING SUBCODE (NJAC 5:23-3.15) National Standard Plumbing Code/2021
	ELECTRICAL SUBCODE (NJAC 5:23-3.16) National Electrical Code (NFPA 70)/2020
	ENERGY SUBCODE (NJAC 5:23-3.18) International Energy Conservation Code/2021 (Low-Rise Residential) ASHRAE 90.1-2019 (Commercial & all other Residential)
	MECHANICAL SUBCODE (NJAC 5:23-3.20) International Mechanical Code/2021
	FUEL GAS SUBCODE (NJAC 5:23-3.22) International Fuel Gas Code/2021
	BARRIER FREE SUBCODE (Chapter 11 of IBC/2015 & NJAC 5:23-7) ICC/ANSI A117.1-2017
CONSTRUCTION TYPE:	EXISTING: 3B CONSTRUCTION, FULLY-SPRINKLERED. PROPOSED: NO CHANGE.
OCCUPANCY:	EXISTING: - GROUP B, OFFICE <u>PROPOSED</u> : - GROUP B, OFFICE (NO CHANGE)
C4E - AREA OF WORK: OCCUPANT LOAD:	<u>1,209 SF</u> <u>25 (SEE EGRESS PLAN FOR CALCULATION)</u>

PROJECT NARRATIVE

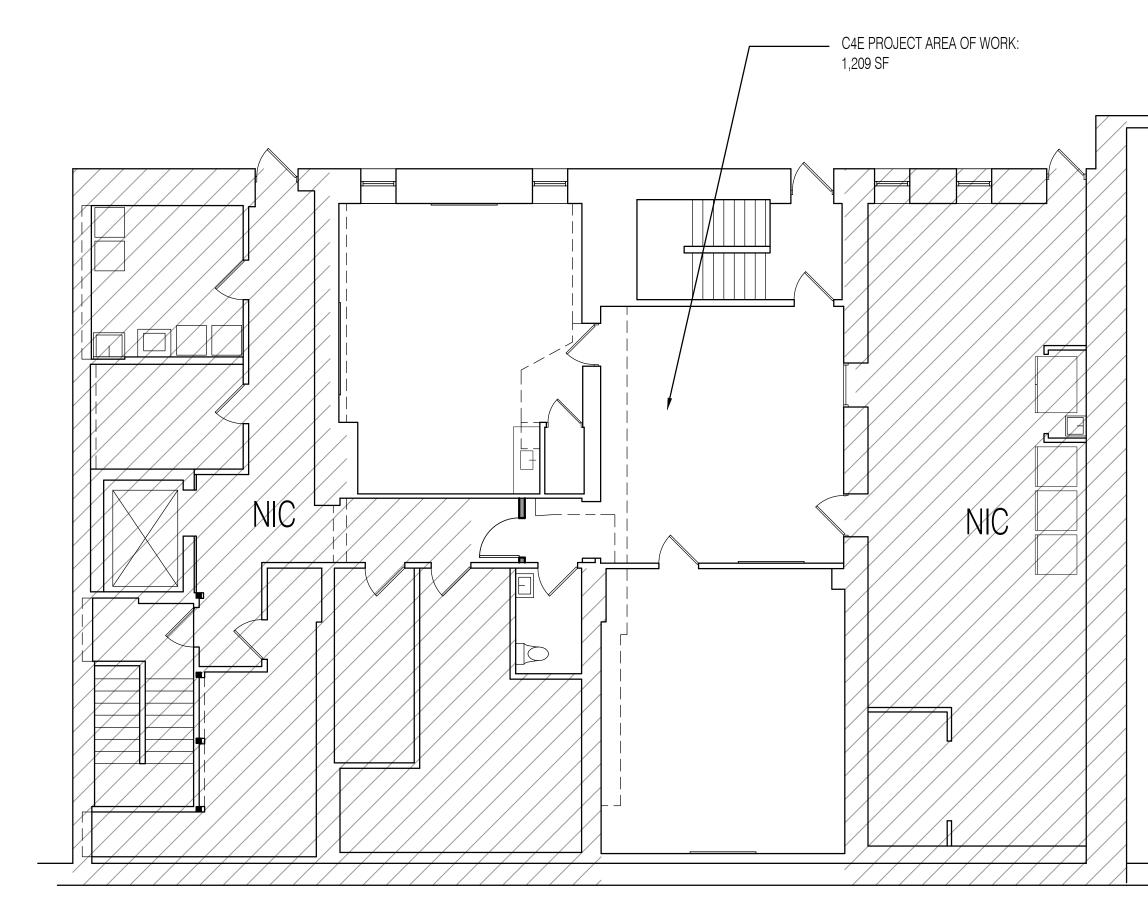
1. THE EXISTING OFFICE SPACE IS TO BE REMODELED TO ACCOMMODATE WHAT IS KNOWN AS C4E (CENTER FOR EDUCATION) PROGRAM AREA. THIS AREA IS TO BE USED FOR VARIOUS TRAINING PROGRAMS.

2. THE SCOPE OF WORK INCLUDES CYPHER LOCK.

- THE FLOORING IS TO BE REPLACED THROUGH THE PROJECT AREA INCLUDING NEW WALL BASE. - PLEASE REFER TO ENLARGED PLANS FOR MORE DETAILS.

SHEE	T INDEX			
INDIC THE PROF INDICATE MATERIAL INDEX SHA	ATES SHEETS ISSUED FOR PERMIT INDICATES NEW SHEETS ADDED TO SET ATES SHEETS ISSUED W/OUT REVISIONS INDICATES SHEETS ISSUED W/ REVISIONS ESSIONALS INDICATED ON THIS SHEET ALONG WITH THEIR LISTED RESPECTIVE DRAWINGS THE NAMED PROFESSIONAL HAS PREPARED OR DIRECTED THE PREPARATION OF THE SHOWN ONLY ON THOSE SHEETS. OTHER DRAWINGS AND DOCUMENTS LISTED ON THIS ALL NOT BE CONSIDERED PREPARED BY ANYONE OTHER THAN THE NAMED DNAL UNDER WHICH THE DRAWING IS LISTED.	DATE: 04/18/24		
	ITECTURAL - BEN HORTEN ARCHITECTURE & DESIGN			
A0.00	TITLE PAGE	$\left \begin{array}{c} 0 \\ 0 \end{array} \right $		
A0.01	GENERAL NOTES	0		
A0.06	WALL PARTITION TYPE	0		
A0.10	DOOR TYPE AND SCHEDULE	0		
A1.00	REFERENCE OVERALL FLOOR PLAN & CODE ANALYSIS PLAN	0		
A2.00	FLOOR PLAN	0		
A2.00-1	DEMOLITION PLAN	0		
A3.00	REFLECTED CEILING PLAN	0		
A10.00	REFERENCE FURNITURE AND OUTLET PLAN	Ō		
A11.00	REFERENCE FINISH PLAN	Ō		
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- ADDING A NEW DOOR IN COMMON HALLWAY FOR SECURITY PURPOSE. THE IDEA IS TO KEEP RESIDENTS WHO LIVE ON UPPER FLOORS FROM ACCESSING THE C4E AREA WITHOUT SUPERVISION. VISA VERSA, THE C4E CLIENTS ACCESS TO COMMON RESIDENT AREAS ARE TO BE RESTRICTED. THIS NEW DOOR IS BEING PROVIDED WITH A



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PROJECT LOCATION: BLOCK 703

PROJECT

LOT 6 37 MAIN ST SUSSEX, NJ 07461

OWNER/APPLICANT:



No.	Date	Issues and Revisions	By	Chec
1.	04/18/24	ISSUE FOR PERMIT	CG	BH
				-

Benjamin J. Horten

NJ Licence No: 21AI 01579400

Drawing Description: TITLE PAGE

Computer File:

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1	GENERAL NOTES
1	THE DRAWINGS AND THE SPECIFICATIONS ARE COMPLIMENTARY, AND THEIR INTENT IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
2	THE ORGANIZATION OF THE PROPER EXECUTION AND COMPLETION OF THE WORK. THE ORGANIZATION OF THE SPECIFICATIONS AND THE DRAWINGS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG THE SUB-CONTRACTORS, OR IN ESTABLISHING THE WORK PERFORMED BY ANY TRADE.
3	ALL WORK SHALL CONFORM TO CODES, ORDINANCES, RULES AND REGULATIONS OF ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AGENCY HAVING JURISDICTION. THE RULES AND REGULATIONS OF OSHA SHALL BE ADHERED TO FOR THIS PROJECT.
4	ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS. FOR PURPOSES OF THIS PROJECT, CONTRACT DOCUMENTS SHALL INCLUDE [THE OWNER/CONTRACTOR AGREEMENT; THE PROJECT MANUAL (WHICH CONTAINS THE GENERAL AND SUPPLEMENTARY CONDITIONS, AND THE SPECIFICATIONS), THE DRAWINGS, AND ALL ADDENDA AND REVISIONS ISSUED BY THE ARCHITECT].
5	THE CONTRACTOR SHALL OBTAIN, AND PAY ALL FEES FOR BUILDING DEPARTMENT APPROVALS AND PERMITS, CONTROLLED INSPECTIONS, APPROVALS AND PERMITS OF OTHER AGENCIES WHEN REQUIRED, AND FINAL WRITE-OFFS FOR PROJECT COMPLETION. RECORD COPIES OF ALL AGENCY PERMITS SHALL BE FORWARDED TO THE ARCHITECT PRIOR TO REQUEST FOR FINAL PAYMENT.
6	CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS, VERIFY ALL DIMENSIONS AND FIELD CONDITIONS, AND CONFIRM THAT THE WORK IS BUILDABLE AS SHOWN. ANY DISCREPANCIES OR OMISSIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO COMMENCEMENT OF THE WORK.
7	CONTRACTOR SHALL VERIFY DIMENSIONS AND, TO THE EXTENT POSSIBLE, VERIFY FIELD CONDITIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
8	IF DOCUMENTS ARE AT VARIANCE WITH ONE ANOTHER ON A PARTICULAR ITEM OR ITEMS, CONTRACTOR SHALL BASE HIS BID ON THE BETTER QUALITY OR MORE EXPENSIVE OF THE CONDITIONS SHOWN. ITEMS OR EQUIPMENT SPECIFIED UNDER ONE TRADE SHALL BE BINDING AS IF SPECIFIED UNDER ALL RELATED TRADES.
9	IN THE EVENT OF A DISCREPANCY BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS OR SPECIFICATIONS, CONTRACTOR SHALL BRING ALL SUCH DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATIONS PRIOR TO COMMENCEMENT OF THE WORK.
10	UPON REWARD OF THE CONTRACT FOR CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY REVIEW AND COORDINATE THE SCHEDULING OF CONSTRUCTION. WITHIN (10) DAYS FOLLOWING AWARD OF CONTRACT THE CONTRACTOR SHALL SUBMIT A DETAILED PROJECT SCHEDULE INCORPORATING THE WORK OF THE CONTRACTOR AND ITS RESPECTIVE SUBCONTRACTORS, AS WELL AS WORK BY OTHERS.
11	WORK SHALL BE PERFORMED DURING REGULAR BUSINESS HOURS WHENEVER POSSIBLE. WORK INVOLVING EXCESSIVE NOISE, DUST OR DISAGREEABLE FUMES, OR WORK WHICH WOULD OTHERWISE INTERFERE WITH THE NORMAL OPERATION OF THE FACILITY OR IT'S TENANTS SHALL BE DONE ON AN OVERTIME, NON-BUSINESS HOURS BASIS. SUCH WORK SHALL BE IDENTIFIED IN THE CONTRACTORS BID, AND SHALL BE COORDINATED WITH BUILDING MANAGEMENT.
12	THE CONTRACTOR SHALL COORDINATE ALL WORK BETWEEN SUBCONTRACTORS, AND SHALL COORDINATE WITH TENANT FOR WORK TO BE PROVIDED BY TENANT SUBCONTRACTORS. TENANT SHALL NOTIFY THE CONTRACTOR,
13	PRIOR TO COMMENCEMENT OF THE WORK, OF ANY TENANT-SUPPLIED WORK FOR WHICH COORDINATION IS REQUIRED. THE CONTRACTOR SHALL COORDINATE WITH THE TELEPHONE AND COMMUNICATIONS INSTALLATION COMPANY AND THE TENANT FOR ALL TELEPHONE AND COMMUNICATIONS INSTALLATION WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING OF TELEPHONE AND COMMUNICATIONS INSTALLATION WITH HIS WORK.
14	DO NOT SCALE DRAWINGS. ANY CLARIFICATIONS OR INFORMATION REQUIRED BY THE CONTRACTOR SHALL BE FURNISHED, UPON WRITTEN REQUEST, BY THE ARCHITECT.
15	THE CONTRACTOR SHALL VERIFY THAT CONTRACT DOCUMENTS ARE THE LATEST ISSUE PRIOR TO COMMENCEMENT OF WORK.
16	ALL WORK SHALL BE PERFORMED TO THE HIGHEST LEVELS OF CRAFTSMANSHIP BY QUALIFIED TECHNICIANS AND MECHANICS.
17	THE CONTRACTOR SHALL NOT PROCEED WITH WORK FOR WHICH IT EXPECTS ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT AND/OR TENANT. FAILURE TO OBTAIN SUCH AUTHORIZATION MAY INVALIDATE A CLAIM FOR ADDITIONAL COMPENSATION.
18	THE CONTRACTOR SHALL BE RESPONSIBLE TO ADEQUATELY BRACE AND PROTECT WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION AND MISALIGNMENT IN CONFORMANCE WITH APPLICABLE CODES, STANDARDS, AND GOOD PRACTICE. EXECUTION OF THE WORK SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING.
19	CONTRACTOR SHALL COORDINATE WORK WITH REQUIREMENTS OF THE BUILDING MANAGEMENT, INCLUDING BUT NOT LIMITED TO SCHEDULING TIME AND LOCATION OF DELIVERIES, BUILDING ACCESS, WORKER PARKING, USE OF BUILDING FACILITIES, TEMPORARY UTILITIES, USE AND CLEARANCE OF BUILDING ELEVATORS, PROTECTION, REFUSE CONTAINERS, ETC.
20	THE CONTRACTOR SHALL MAINTAIN ALL EXITS, EXIT AND EMERGENCY LIGHTING, FIRE AND LIFE SAFETY DEVICES AND ALARMS AS REQUIRED BY LOCAL CODES, OR AS MAY BE REQUIRED BY THE BUILDING OFFICIAL. THE CONTRACTOR SHALL ENSURE THAT THE PERFORMANCE OF THE WORK WILL NOT JEOPARDIZE THE SAFE, UNINTERRUPTED PROVISION OF MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND LIFE SAFETY SYSTEMS TO ADJACENT TENANT AREAS.
21	THE CONTRACTOR SHALL INCLUDE IN HIS BID AND SHALL ARRANGE FOR ALL HOISTING, CARTING, ELEVATOR SERVICE AND ALL CHARGES FOR SERVICES PROVIDED BY THE BUILDING MANAGEMENT.
22	REQUESTS FOR SUBSTITUTIONS OF SPECIFIED ITEMS SHALL BE SUBMITTED TO THE ARCHITECT, IN WRITING WITHIN (10) WORKING DAYS OF THE AWARD OF THE CONTRACT FOR CONSTRUCTION. SUBSTITUTIONS WILL ONLY BE CONSIDERED IN IF THEY PROVIDE BETTER SERVICE, HAVE A MORE ADVANTAGEOUS DELIVERY DATE, OR HAVE A LOWER PRICE REFLECTED IN COST SAVINGS TO THE TENANT, AND WILL NOT SACRIFICE QUALITY, APPEARANCE, OR FUNCTION. THE ARCHITECT SHALL NOT BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OF EQUAL QUALITY TO THE SPECIFIED PRODUCT.
23	THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING , AND SHALL RECEIVE APPROVAL BEFORE ORDERING OR INSTALLING ITEMS OR MATERIALS WHICH ARE PROPOSED EQUALS. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED WITH BID PROPOSAL, WITH ADD OR DEDUCT PRICING FROM THE ITEM OR SYSTEM SPECIFIED IN THE CONTRACT DOCUMENTS.
24	THE CONTRACTOR SHALL PROTECT THE BUILDING PREMISES AND ALL OCCUPANTS ON THE PROJECT SITE. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY TEMPORARY COVERINGS AND PROTECTION, TEMPORARY PARTITIONS, AND DOORS AS REQUIRED TO PROTECT EXISTING CONSTRUCTION TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES CAUSED BY IMPROPER PROTECTION, AND SHALL MAKE ALL NECESSARY REPAIRS AND REPLACEMENTS WITHOUT ADDITIONAL CHARGE TO THE TENANT, OR TO PARTIES AFFECTED.
25	ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED BY CODES AND ORDINANCES OR AS MAY BE DIRECTED BY THE BUILDING OFFICIAL, TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. UPON COMPLETION OF THE WORK REMOVE TEMPORARY PARTITIONS AND REPAIR DAMAGED SURFACES AS REQUIRED.
26	PROVIDE TEMPORARY PARTITIONS AS REQUIRED TO SERVICE WORK AREA, AND ALLOW SAFE, UNINTERRUPTED OCCUPANCY BY BUILDING TENANTS. WORK AREAS ARE TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY. THE CONTRACTOR SHALL SECURE AND LOCK THE WORK AREA AND TENANT SPACE AT THE END OF EACH WORKING DAY, AND SHALL NOT PERMIT UNAUTHORIZED PERSONNEL TO CIRCULATE IN THE WORK AREA AND TENANT SPACE. CONTRACTOR SHALL PROVIDE TEMPORARY KEYS TO A TENANT REPRESENTATIVE. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING ITS BEST SKILL AND ATTENTION. THE CONTRACTOR
27	SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR COORDINATION OF ALL PORTIONS OF THE WORK. THE CONTRACTOR SHALL PROVIDE A FULL TIME SUPERINTENDENT AT THE JOBSITE WHO IS FURNISHED WITH A LOCKED

28 OFFICE AREA EQUIPPED WITH TELEPHONE SERVICE, FILES AND WORKSPACE FOR DRAWINGS, SPECIFICATIONS AND SAMPLES STORAGE. THE CONTRACTOR SHALL PROVIDE HARD HATS AS REQUIRED FOR USE BY DESIGNATED TENANT FIELD REPRESENTATIVES, THE ARCHITECT, AND THEIR GUESTS.

- 29 DURING THE ENTIRE PERIOD OF THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL BE REPRESENTED AT THE JOBSITE BY A QUALIFIED SUPERINTENDENT WHO SHALL BE EMPOWERED TO ACT ON HIS BEHALF, AND WHO SHALL BE RESPONSIBLE FOR:
 - 1. MANAGEMENT OF ALL ASPECTS OF THE WORK INCLUDING PERIODIC MEETINGS TO REVIEW JOB PROGRESS.
 - 2. ESTABLISH AND MAINTAIN PROPER AND SAFE WORKING CONDITIONS AT THE JOBSITE.
 - 3. TRANSMITTAL OF ALL INSTRUCTIONS ISSUED BY THE ARCHITECT, TENANT AND LANDLORD.
 - COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
 COMPLETE COORDINATION OF ALL ELEMENTS OF THE WORK.
 - GOMPLETE COORDINATION OF ALL ELEMENTS OF THE WORK.
 CHECKING WORK IN PLACE FOR CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS.
- **30.** THE CONTRACTOR SHALL HAVE A DULY AUTHORIZED REPRESENTATIVE PRESENT AT THE JOBSITE TO BE RESPONSIBLE FOR RECEIVING ALL MATERIAL DELIVERED IN CONNECTION WITH THE WORK. THE LANDLORD AND THE BUILDING MANAGEMENT WILL HAVE NO RESPONSIBILITY FOR SUCH DELIVERIES, AND WILL NOT ACCEPT THEM.
- 31. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WAREHOUSING OF ALL MATERIALS TO BE INSTALLED UNDER THIS CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECEIVING, PROTECTING OWNER OR TENANT FURNISHED ITEMS, AND SHALL PROVIDE AND MAINTAIN LOCKED STORAGE ROOMS AT BUILDING PREMISES FOR THE FOLLOWING ITEMS WHEN REQUIRED: COMMUNICATIONS EQUIPMENT, CARPETING, FURNITURE, DECORATIVE ITEMS SUCH AS BLINDS, DRAPERIES, ETC.
- **32.** THE CONTRACTOR SHALL DO ALL CUTTING, FITTING AND PATCHING REQUIRED TO COORDINATE THE INSTALLATION OF IT'S WORK, THE WORK OF IT'S SUBCONTRACTORS, AND THE WORK OF TENANT SPECIALTY CONTRACTORS AND VENDORS.
- **33.** THE CONTRACTOR SHALL ESTABLISH A BENCHMARK @ 4-0" ABOVE FINISH FLOOR FOR USE AS A DATUM LINE BY ALL TRADES FOR VERTICAL DIMENSIONS.
- **34.** THE CONTRACTOR SHALL PATCH ALL HOLES AND CHASES, BOTH ABOVE AND BELOW CEILINGS, CREATED BY THE REMOVAL OR INSTALLATION OF DUCTS, PIPES, CONDUITS, CEILINGS, ETC. PATCH CONSTRUCTION TO MATCH EXISTING AS REQUIRED, AND MAINTAIN THE FIRE RESISTANCE RATING OF FIRE SEPARATION ASSEMBLIES.
- **35.** SPACES AROUND PIPES, DUCTS, AND CONDUITS PENETRATING FIRE RATED PARTITIONS SHALL BE FIRESTOPPED IN CONFORMANCE WITH APPLICABLE CODES.
- **36.** THE CONTRACTOR SHALL REPAIR OR RESTORE ALL FIRE PROOFING FOR ALL STRUCTURAL STEEL BEAMS, GIRDERS AND COLUMNS WHOSE FIREPROOFING MAY HAVE BEEN DAMAGED BY PERFORMANCE OF THE WORK, OR BY A PREVIOUS TENANT OCCUPANCY. FIREPROOFING SHALL MATCH ADJACENT EXCEPT WHERE ASBESTOS COMPONENTS ARE USED IN WHICH CASE THE TENANT, LANDLORD, AND THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- **37.** THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION PREMISES IN A NEAT AND ORDERLY CONDITION AT ALL TIMES AND SHALL KEEP THE JOBSITE FREE OF ALL UNNECESSARY TRASH AND DEBRIS. THE JOBSITE SHALL BE BROOM CLEANED AT THE END OF EACH WORKING DAY.
- **38.** CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SUBMITTALS TO THE ARCHITECT PRIOR TO FABRICATION AND ORDERING, AND SHALL INFORM THE ARCHITECT IN WRITING AT TIME OF SUBMISSION OF ANY PROPOSED DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

- 39 UNLESS OTHERWISE NOTED SHOP DRAWINGS SHALL INCLUDE (1) ONE REPRODUCIBLE AT SUBMITTALS SHALL INCLUDE (3) THREE COPIES OF PRODUCT DATA AND/OR (3) THREE S SUBMITTALS FAR ENOUGH IN ADVANCE OF SCHEDULED DATES TO PROVIDE TIME REQUIRE SECURING NECESSARY APPROVALS, FOR POSSIBLE REVISIONS AND RESUBMITTALS, AND F AND SECURING DELIVERY. ALLOW AT LEAST (7) SEVEN WORKING DAYS FOR REVIEW BY TH RECEIPT OF THE SUBMITTAL, EXCLUSIVE OF MAILING TIME.
- 40 THE CONTRACTOR SHALL REVIEW REQUIRED SHOP DRAWINGS AND SUBMITTALS PRIOR TO ARCHITECT, AND SHALL INDICATE ON THE SHOP DRAWING OR SUBMITTAL THAT SUCH REVII THE ARCHITECT WILL NOT REVIEW SHOP DRAWINGS OR SUBMITTALS THAT DO NOT BEAR A REVIEW STATEMENT. BY REVIEWING AND SUBMITTING SHOP DRAWINGS AND SUBMITTALS, REPRESENTS THAT HE HAS DETERMINED AND VERIFIED FIELD MEASUREMENTS, FIELD CONS MATERIALS, CATALOG NUMBERS AND SIMILAR DATA, AND THAT EACH SHOP DRAWING AND CHECKED AND COORDINATED WITH THE REQUIREMENTS OF THE CONTRACT.
- 41 ARCHITECTS REVIEWS OF SHOP DRAWINGS AND SUBMITTALS SHALL BE FOR CONFORMAN CONCEPT ONLY. ARCHITECTS REVIEW SHALL NOT BE CONSTRUED AS APPROVING DEPAR REQUIREMENTS, NOR SHALL IT BE CONSTRUED AS APPROVING ANY CHANGES IN PRICING.
- 42 REJECTED SUBMITTALS SHALL BE RESUBMITTED AS SOON AS POSSIBLE, AND SHALL BE ID RESUBMITTED.
- 43 CONTRACTOR SHALL SUBMIT OPERATIONAL INSTRUCTIONS, MAINTENANCE MANUALS, ANE WRITTEN WARRANTIES FOR ALL CONTRACTOR- PROVIDED EQUIPMENT TO TENANT REPRESE REQUEST FOR FINAL PAYMENT. CONTRACTOR SHALL PROVIDE, OR SHALL ARRANGE FOR, A OPERATIONAL OR MAINTENANCE TRAINING.
- **44** JUST PRIOR TO TENANT OCCUPANCY, CONTRACTOR SHALL CLEAN ALL SURFACES, REMOV CLEAN FINISHED SURFACES OF STAINS AND FOREIGN MATTER, CLEAN WINDOWS AND WIN VACUUM THE INSIDES OF CONVECTOR COVERS, POLISH TRANSPARENT AND GLOSSY SURI EQUIPMENT AND FIXTURES, AND REPLACE FILTERS ON MECHANICAL EQUIPMENT. REMAIN MATERIAL AND EQUIPMENT, IF ANY, SHALL BE MOVED AND TEMPORARILY SECURED IN AN THE OWNER.
- 45 STORAGE OF FLAMMABLE AND COMBUSTIBLE MATERIALS ON SITE SHALL BE LIMITED TO A
- 46 CONTRACTORS SHALL UTILIZE PERMIT-TO-WORK PROGRAMS FOR HAZARDOUS WORK (I.E. PIPE BREAKING, WORK AT HEIGHTS, ETC.) CONDUCTED ON THE SITE AND COORDINATE THE LIPTON PROJECT MANAGER.

2 CONSTRUCTION NOTES

- 1 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATION TYPES, ALL DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLA CONFLICT, NOTIFY ARCHITECT; PARTITION PLAN BY ARCHITECT SUPERSEDES OTHER
- 2 ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTI DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICK INCLUDING CARPET, CERAMIC TILE, VCT, ETC.
- 3 DIMENSIONS LOCATING DOORS BY EDGE ARE TO THE INSIDE EDGE OF JAMB, UNLES
- 4 PARTITIONS AT BUILDING PERIMETER SHALL BE CENTERED ON CENTER LINE OF COL MULLION, UNLESS OTHERWISE NOTED.
- 5 COLUMN CENTER LINES (OR GRID LINES) ARE SHOWN FOR DIMENSIONING, VERIFY EX
- 6 CONTRACTOR SHALL MARK LOCATIONS OF PARTITIONS AND DOORS ON FLOOR WITH ARCHITECT PRIOR TO INSTALLATION. REVIEW WILL BE FOR DESIGN INTENT, CONTRAC AND VERIFY ALL CONDITIONS TO ENSURE PROPER FIT.

3 FIRE DEPT. RELATED NOTES

- LOCATED FIRE EXTINGUISHERS AND CABINETS AS INDICATED ON THE PLANS AND AD
- AS REQUIRED BY THE FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT **1.1** ALL FIRE EXTINGUISHERS AND CABINETS TO MATCH EXISTING. PROVIDE SEMI-RECESS
- WALL IS NOT THICK ENOUGH TO RECEIVE FULLY RECESSED CABINETS.
- 2. PROVIDE EXIT SIGN WITH 6' LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAW ADDITIONAL SIGN AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR OR FIRE DEPA
- INSPECTOR, CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS. COMPLY WITH **3.** PROVIDE EMERGENCY LIGHTING OF ONE FOOT-CANDLE AT FLOOR LEVEL. COMPLY W
- **4**. MAINTAIN AISLES AT LEAST 44" WIDE AT PUBLIC AREAS.
- 5. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KE KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TY SHALL HAVE APPROVED LEVER HANDLES.
- 6. DOORS OPENING INTO REQUIRED 1-HOUR, FIRE-RESISTIVE CORRIDORS SHALL BE PRO
- SMOKE OR DRAFT STOP ASSEMBLY HAVING A 20-MINUTE RATING AND SHALL BE SELF
 FIRE RATED DOOR JAMBS TO BE TIGHT-FITTING, SMOKE AND DRAFT CONTROLLED.
- 8. EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING 50 OR MORI
- HAZARDOUS AREA.
 9. INTERIOR WALL AND CEILING FINISHES FOR EXIT CORRIDOR SHALL NOT EXCEED AN EXCEPTION OF THE PROPERTY OF THE
- SPREAD RATING: A. CLASS I, FLAME SPREAD 0-25, SMOKE DENSITY 150, FOR MATERIALS INSTALLED I
- B. CLASS II, FLAME SPREAD 26-75, SMOKE DENSITY 300, FOR MATERIALS INSTALLED
- C. CLASS III, FLAME SPREAD 76-200, SMOKE DENSITY 450, FOR MATERIALS INSTALLE LOCATIONS.
- **10.** DECORATIONS (CURTAINS, DRAPES, SHADES, HANGINGS, ETC.) SHALL BE NON-COME PROOFED IN AN APPROVED MANNER.
- **11.** PROVIDE FIRE DAMPERS OR DOORS WHERE AIR DUCTS PENETRATE FIRE-RATED WALL
- **12.** STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAM HAZARDOUS SUBSTANCES SHALL COMPLY WITH UNIFORM FIRE CODE REGULATIONS.
- **13**. WOOD BLOCKNG SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE
- 14. EXTEND OR MODIFY EXISTING FIRE/LIFE SAFETY SYSTEM AS REQUIRED TO PROVIDE A SAFETY SYSTEM. SUBMIT PLANS TO FIRE DEPARTMENT WITH COMPLETE DESCRIPTION OPERATION, AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
- **15.** LOCATE THE CENTER OF FIRE ALARM INITIATING DEVICES 48" ABOVE THE LEVEL OF TH PLATFORM, GROUND SURFACE OR SIDEWALK.
- **16.** EMERGENCY WARNINGS SYSTEMS SHALL ACTIVATE A MEANS OF WARNING THE HEARI FLASHING VISUAL WARNING SHALL HAVE A FREQUENCY OF NOT MORE THAN 60 FLASH
- **17.** AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL REMOTE STATION SERVICE OR A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL ATTENDED LOCATION.

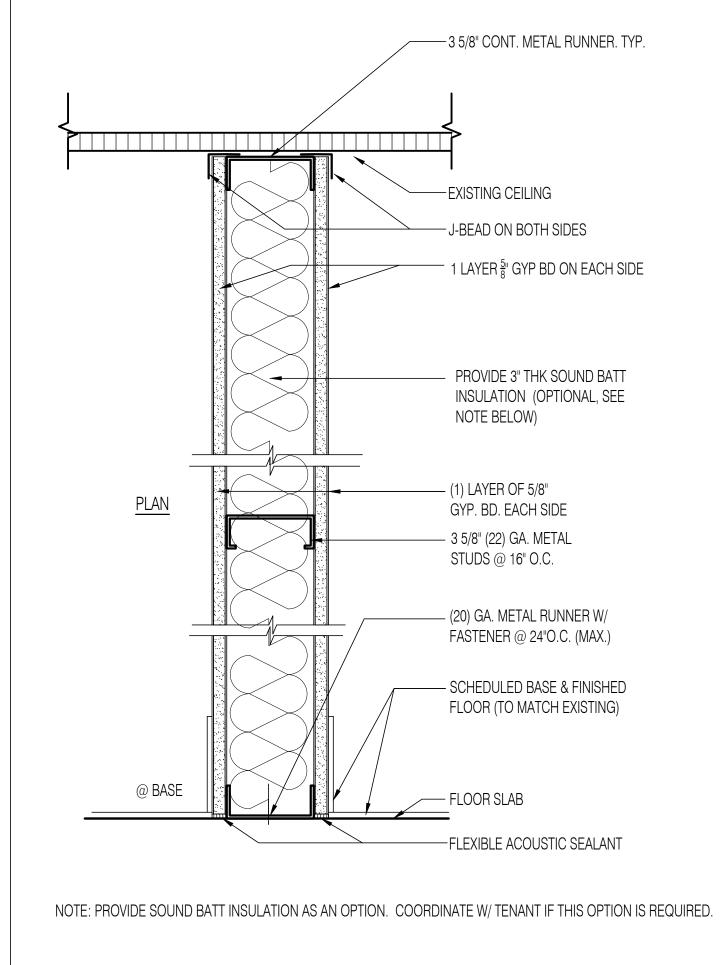
GENERAL NOTES

	4	REFLECTED CEILING NOTES	7		IG DEPARTME	ENT NOT	ES
ree Prints. Make View, For Ng Orders Ect Following	1	REFER TO MECHANICAL, ELECTRICAL, AND FIRE SPRINKLER DRAWINGS AND SPECIFICATIONS FOR DESIGN OF THESE SYSTEMS (DUCT SIZES, CIRCUITING, ETC.). LOCATIONS, HOWEVER, OF FIXTURES, REGISTERS, SWITCHES, ETC. SHALL BE AS SHOWN ON ARCHITECTURAL PLANS AND DETAILS. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING CONSTRUCTION. VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, DUCTS. STRUCTURAL ELEMENTS, AND OTHER	1 2 3	INDICATED BELOW. IT IS THE INTENT OF TH THEY APPLY TO A PRO	RE PREPARED FOR AN ALTERATION OF IESE DOCUMENTS THAT THEY CONFO JECT OF THIS TYPE, IALL BE ACCESSIBLE IN CONFORMANC	RM TO APPLICABLE COD	DES AND REGULATI
ION TO THE AKEN PLACE. CONTRACTOR	2	VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLOMBING, DUCTS, STRUCTORAL ELEMENTS, AND OTHER APPLICABLE ITEMS. ARRANGE AND MODIFY NON-VISIBLE ITEMS TO INSURE ADEQUATE CLEARANCES FOR CEILING LAYOUT AS SHOWN. ALL REGISTERS AND LIGHTING FIXTURES SHALL OCCUR WITHIN GRID LINES AND SPRINKLER HEADS.		CODE AS THEY MAY AP PROJECT.), AND THE BARRIER-FREE SUBCODE (PLY TO A PROJECT OF THIS TYPE, AN TOILET ROOMS,MECHANICAL ROOMS	D AS THEY ARE LIMITED	TO THE SCOPE OF
TRACTOR IN CRITERIA, AL HAS BEEN	3	ALL REGISTERS AND EXEMPTING FIXTORES SHALL OCCOR WITHIN GRID LINES AND STRINKLEN READS, INCANDESCENT FIXTURES, OR OTHER CEILING ELEMENTS SHALL BE LOCATED ON THE CENTERLINE OF ACOUSTICAL UNITS, UNLESS OTHERWISE NOTED. ALL LIGHT SWITCHES, UNLESS OTHERWISE NOTED, SHALL BE LOCATED TO MATCH EXISTING, AND BE LOCATED	4	SPACES,NOTED (E) EXI ALL WORK SHALL CON	FORM TO, AND SHALL BE PERFORMED	TERIOR AND SITE WOR	5. ANY CODES, RU
HE DESIGN DM CONTRACT	4 5	ALL LIGHT SWITCHES, UNLESS OTHERWIGE NOTED, SHALL BE LOCATED TO WATCH EXISTING, AND BE LOCATED 6" FROM LATCH SIDE OF DOOR FRAME. ALL NEW & EXISTING THERMOSTATS SHALL BE MOUNTED 4-0" A.F.F. WHEN THERMOSTATS AND LIGHT SWITCH OCCUR TOGETHER, INSTALL BOTH ALIGNED VERTICALLY AT CENTERLINE OF EACH.	6	BUILDING OFFICIAL BEI	CEMENT OF WORK" - AT LEAST 24 6. H FORE THE COMMENCEMENT OF ANY	WORK FOR WHICH A PE	RMIT HAS BEEN ISS
AS	6	WHERE LIGHTS AND SWITCHES ARE NOT NOTED WITH A LOWER CASE LETTER SWITCH DESIGNATION, THE SWITCHES ARE TO BE CONNECTED TO ONLY THE LIGHTS WITHIN THAT SPECIFIC ROOM.	7	ALL PERSONS RESPON 72 HOURS PRIOR TO SI	COMMENCED ON AN ITEM OF CONST ISIBLE FOR SUCH CONTROLLED INSPE UCH COMMENCEMENT. D IN THE CONSTRUCTION SHALL BE FI	ECTION SHALL BE NOTIF	FIED IN WRITING AT I
CTURERS PRIOR TO ALIZED	7 8	ALL FLUORESCENT LAMPS SHALL BE BLDG. STANDARD, U.O.N. LIGHT SWITCHES SHOWN ADJACENT TO EACH OTHER SHALL BE GANGED AND COVERED WITH A SINGLE PLATE. COVER PLATES AND SWITCHES SHALL BE BUILDING STANDARD.	8	,	ILDING CODE. OCKING AND DRAFT STOPPING SHALL S SHALL COMPLY WITH THE BUILDING		IE CODE IN EFFECT
ARY LABELS,	9	LIGHT SWITCHING SHALL CONFORM TO APPLICABLE CODE REQUIREMENTS.	10		RUCTION SHALL COMPLY WITH THE BL		Т.
ATMENTS, AND EAN ALL STRUCTION VIRECTED BY	11	LINEAR DIFFUSERS CROSSING PARTITIONS SHALL BE SOUND INSULATED AND SEALED TO PREVENT LIGHT LEAKS.	11	SUCH LABELS AS MAY I	REATED DOORS SHALL BEAR THE LAB BE REQUIRED BY THE LOCAL BUILDING S SHALL COMPLY WITH APPLICABLE CO	G AUTHORITY.	
DAY'S SUPPLY.			13		HALL. HALL BE PROVIDED IN CONFORMANC RED BY THE LOCAL BUILDING OFFICIAI		DES, OR AS MAY
& WELDING, EDURES WITH							
	5	POWER AND COMMUN. NOTES	8		/IATIONS		
NSIONS AND SE OF	1	SURVEY FIELD CONDITIONS AND VERIFY THAT WORK IS FEASIBLE AS SHOWN; VERIFY LOCATION OF FLOOR OUTLETS, AND OTHER OUTLETS IN RELATION TO STRUCTURAL AND OTHER ELEMENTS.		A A/C ACOUS.	AIR CONDITIONING ACOUSTICAL	L Lam.	ANGLE
NOTED. ALL ALL FINISHES	2	SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL NOTES AND INFORMATION. WHERE CONFLICTS OCCUR, ARCHITECTURAL DRAWINGS SHALL TAKE PRECEDENCE FOR LOCATION AND TYPE OF OUTLET. INDICATED DIMENSIONS ARE TO THE CENTERLINE OF THE OUTLET (SWITCH) OR CLUSTER OF OUTLETS		ACOUS.T (OR AC.T.) ADD'N(L). ADJ. ALUM.	ACOUSTICAL TILE ADDITION(AL) ADJUSTABLE ALUMINUM	lb. (or #) l.h. M	POUND LEFT HAND
'ISE NOTED.	3	(SWITCHES), UNLESS OTHERWISE NOTED; GANG COVERPLATES SHALL BE ONE-PIECE TYPE, UNLESS OTHERWISE NOTED.		ALT. ANOD. APPVD. APPROX. ARCH.	ALTERNATE ANODIZED APPROVED APPROXIMATE ARCHITECT or	MAINT. MAX. MECH. M.C. MTL.	MAINTENANC MAXIMUM MECHANICAL MAIL CHUTE METAL
VINDOW	4	INSTALL OUTLETS NOT OTHERWISE DIMENSIONED 4 INCHES CLEAR HORIZONTALLY FROM EDGE OF FLOOR MONUMENT OR WALL PLATE TO THE NEAREST PARTITION AND/OR COLUMN. STANDARD WALL OUTLETS SHALL BE MOUNTED VERTICALLY TO CENTER LINE, 1'-3" ABOVE FINISH FLOOR, UNLESS OTHERWISE NOTED.		AUTO. AVG. È A.F.F.	ARCHITECTURA L AUTOMATIC AVERAGE AND ABOVE FINISH FLOOR	MFL. MFZZ. MFG. MFR. MGR. MIN. MIN.	METAL MEZZANINE MANUFACTU MANUFACTU MANAGER MINIMUM MISCELLANE
R REVIEW BY	6	INSTALL ABOVE-COUNTER AND BELOW-COUNTER OUTLETS AND OUTLETS INDICATED AT SPECIAL MOUNTING HEIGHT, HORIZONTALLY, UNLESS OTHERWISE NOTED.		BD. BLDG.	BOARD BUILDING	MTD. MUL. M.TH. MW.	MOUNTED MULLION METAL THREE MICROWAVE
LL COORDINATE	7	INSTALL OUTLETS 1 INCH ABOVE COUNTER OR BACK SPLASH MEASURED FROM BOTTOM EDGE OF OUTLET FACEPLATE TO TOP OF CABINETRY, UNLESS OTHERWISE NOTED.		BLCG. BRKT. BRZ. BSMT.	BLOCKING BRACKET BRONZE BASEMENT	N (N) N:	NORTH NEW
	8	INSTALL OUTLETS 3 INCH BELOW LOWEST ELEMENT OR CABINETRY MEASURED FROM TOP EDGE OF FACEPLATE TO BOTTOM OF CABINETRY, UNLESS OTHERWISE NOTED.		CAB. C.C. CER.	CABINET CENTER TO CENTER CERAMIC	NEG. N.I.C. NO.(OR #) N.T.S.	NEGATIVE NOT IN CONT NUMBER NOT TO SCAL
	9	DO NOT MOUNT OUTLETS BACK-TO-BACK ON OPPOSITE SIDES OF PARTITION; MAINTAIN MINIMUM 12 INCH SEPARATION.		CLKG. © CLG. (OR CEIL.) CLOS.	CAULKING CENTER LINE CEILING	O.A. 0.C. 0.D.	OVERALL ON CENTER OUTSIDE DIA
	10	VERIFY ALL EQUIPMENT MOUNTING REQUIREMENTS OF ALL ELECTRICAL, TELEPHONE AND OTHER EQUIPMENT.		CLOS. CLR. CLR. OPG. COL. CONC.	CLOSET CLEAR CLEAR OPENING COLUMN CONCRETE	OFF. O.H. OPNG. OPP. ORIG.	OFFICE OPPOSITE HA OPENING OPPOSITE ORIGINAL
	11	FURNITURE IS SHOWN FOR GENERAL REFERENCE ONLY. ALL CORING LOCATIONS SHALL BE REVIEWED IN FIELD BY ARCHITECT AND COORDINATED WITH LANDLORD PRIOR TO CORING.		CONN. CONST. CONT.	CONNECT OR CONNECTION CONSTRUCTION CONTINUOUS	PART. BD.	PARTICLE BC
XTINGUISHERS OR. ETS WHERE	13	COORDINATE INSTALLATION OF TELEPHONE AND DATA SYSTEMS UNLESS OTHERWISE NOTED.		COR. CORR. CTR. C.W.	CORNER CORRIDOR CENTER COLD WATER	P.LAM. PLAS. PLY. PNL. PR.	PLASTIC LAM PLASTER PLYWOOD PANEL PAIR
ELD	14	ARCHITECTURAL DRAWINGS ARE SCHEMATIC IN NATURE. DESIGN/BUILD ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, COMPLYING WITH ALL APPLICABLE CODES, FOR PROPER SIZING AND CIRCUITING OF WORK, AND PROVIDING "AS BUILT" DRAWINGS AT COMPLETION OF WORK.		D.A. DBL. DEPT. DET.	DOUBLE-ACTING DOUBLE DEPARTMENT DETAIL	PREFAB. PREFAB. PROJ. PTN. PTD. Q	PAIR PREFABRICA PROJECT PARTITION PAINTED
ODES. NG CODES.	15	REMOVE ALL FLOOR MONUMENTS PRIOR TO CARPET INSTALLATION. REMOVE COVER PLATES FROM ALL PREVIOUSLY CAPPED OUTLETS. ALL CAPPED OUTLETS ARE TO BE FLUSH WITH FLOOR SURFACE. REINSTALL AND RE TRIM ALL MONUMENTS FOLLOWING CARPET INSTALLATION. ALL ISOLATED GROUND COMPUTER CIRCUITS SHALL RECEIVE ORANGE COLORED OUTLET.		D.F. DIA. DIM. DIV. DN. DR. DWG.	DRINKING FOUNTAIN DIAMETER DIMENSION DIVISION DOWN DOOR DRAWING	QUAL. QUAN. R	QUALITY QUANTITY
PECIAL V DOORS		COVER PLATES, RECEPTACLES AND RELATED ITEMS SHALL BE BUILDING STANDARD UNLESS OTHERWISE		DWG. DRW. DW. E	DRAWING DRAWER DISHWASHER	RE. R. R/A RAD. RECEP.	RELOCATE REMOVE RETURN AIR RADIUS RECEPTACLE
/ITH A	18	NOTED. OBTAIN EQUIPMENT SPECIFICATIONS, INCLUDING POWER AND INSTALLATION REQUIREMENTS FROM MANUFACTURER TO ENSURE PROPER FIT AND FUNCTION.		(E.) ELEC. EL. ELEVR. ENG EQ.	EAST ELECTRIC ELEVATION ELEVATOR ENGINEER EQUAL	REF. REFL. REINF. RESIL. REQD. R.H.	REFERENCE REFLECTED REINFORCED RESILIENT REQUIRED RIGHT HAND
AND IN ANY				EQ.: EQUIP. EXH. EXIST. EXPAN. EXPOS. EXT.	EQUIL EQUIPMENT EXHAUST EXISTING EXPANSION EXPOSED EXTERIOR	rm. rnd. r.o. rev. S	ROOM ROUND ROUGH OPE! REVISION
LAME	6	FINISH NOTES		ELECT. F	ELECTRICAL	(S) S.C. SCHED. SECT. SHT	SOUTH SOLID CORE SCHEDULE SECTION SHEFT
. EXITS. INTAL EXITS. ITHER	1	ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. STARTING OF WORK SHALL INDICATE INSTALLER'S ACCEPTANCE OF SUBSTRATE.		F.ALM. FABR. F.E. F.E.C. F.F. F.H.C.	FIRE ALARM FABRICATE FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR FIRE HOSE CABINET	SHT. SIM. SQ. SF(OR S.S. ST. STA.	SHEET SIMILAR SQUARE SQUARE FEE STAINLESS S STAIN STATION
BE FLAME	2	UNLESS OTHERWISE NOTED PROVIDE MINIMUM 3-COAT PAINT SYSTEMS AS SPECIFIED FOR EACH SUBSTRATE; REFER TO FINISH PLAN FOR COLORS ALL WALLS - EGGSHELL SHEEN ALL GWB CEILINGS - FLAT SHEEN ALL EXPOSED DUCTWORK & METAL DECK CEILING IN FACTORY AREA TO MATCH EXISTING FINISH.		F.N.C. FIN. FLR. FLUOR. F.O.C. F.O.F. F.O.G.	FINISH(ED) FLOOR FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF GYP, BD.	STA. STD. STL. STRUCT. SUSP. SYMM. SYS.	STANDARD STEEL STRUCTURAL SUSPEND(ED SYMMETRICA SYSTEM
NGS.	3	REPAIR AND PREPARE EXISTING SURFACES SHOWN TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.		F.O.S. F.O.W. FR. F.S.	FACE OF STUD FACE OF WALL FRAME FULL SIZE	spl. T	SPLASH
as and Ents.	4	PRIOR TO PURCHASE OR INSTALLATION OF ANY FINISH MATERIALS SUBMIT 3 SETS OF SAMPLES TO ARCHITECT FOR REVIEW IN CONFORMANCE WITH SPECIFIED PROCEDURES. ALLOW TIME FOR SUBMITTAL REVIEW AND FOR RE-SUBMITTALS IF REQUIRED.		ft. f-f furr. G	FOOT OR FEET FACE TO FACE FURRING	T&B TECH. TEL. TEMP TEMP'Y TEMP GI	TOP AND BO TECHNICAL TELEPHONE TEMPERED TEMPORARY TEMPERED G
D FIRE/LIFE INCE OF	5	WHERE DEMOLITION AFFECTS WALLS, CEILINGS, CARPET, ETC. TO REMAIN, PATCH AND REFINISH TO PROVIDE "LIKE NEW" APPEARANCE.		GD. GA. GEN. G.F.I.	GARBAGE DISPOSAL GAUGE GENERAL GROUND FAULT ISOLATED	TEMP. GL. THK. TYP. U	TEMPERED G THICK(NESS) TYPICAL
NORKING	6	ALL NEW AND EXISTING FINISHES SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE SHALL BE REPAIRED BY CONTRACTOR INVOLVED AT HIS COST WITH NO COST TO OWNER.		GL. GYP. GYP. BD. H	GLASS OR GLAZED GYPSUM GYPSUM BOARD	U.L. UTIL. U.O.N.	UNDERWRITE LABORATOR UTILITY UNLESS OTH NOTED
D. IUTE BY OB		PROVIDE STRAIGHT, FLUSH RESILIENT BASE AT CARPETED AREAS, AND RUBBER BASE AT V.C.T. FLOORING UNLESS OTHERWISE NOTED. INSTALL RESILIENT "DOME TYPE" TRANSITION STRIP WHERE CARPET TERMINATES AT RESILIENT FLOORING. SEE		HDWR. HDWD. HGT. H.M. HORIZ.	HARDWARE HARDWOOD HEIGHT HOLLOW METAL HORIZONTAL	V VERT. VEST.	VERTICAL VESTIBULE
RY OR TANTLY	8 9	FINISH LEGEND FOR COLOR. FINISH LEGEND FOR COLOR. PAINT HVAC DIFFUSERS, DRAPERY POCKETS, FIRE EXTINGUISHER CABINET, AND SPEAKER GRILLS TO MATCH ADJACENT FINISH, UNLESS OTHERWISE NOTED.		HORIZ. HVAC H.W. I	HORIZONTAL HEATING, VENTILATING AND AIR CONDITIONING HOT WATER	V.I.F. VOL. VER W	VERIFY IN FIE VOLUME VERIFY WEST
				I.M. I.D. INCL. INFO. INCAN.	ICE MAKER INSIDE DIAMETER INCLUDE(D)(ING) INFORMATION INCANDESCENT	Ŵ/ W.C. WD WDW. W.H. W/O	WITH WALL COVER WOOD WINDOW WATER HEAT WITHOUT
				J JAN.	JANITOR	W.S. WT.	WEATHER-ST WEIGHT

	9 ASBESTOS NOTES		PROJI	ECT				
ON ONS AS	IN THE EVENT OF ASBESTOS OR OTHER TOXIC SUBSTANCE EXPOSURE OR THE SUBSTANTIAL RISK THEREOF, CLIENT WILL HAVE THE DUTY TO INFORM ARCHITECT OF SUCH RISKS KNOWN OR REASONABLY KNOWABLE TO CLIENT. IF ASBESTOS, OR ANY OTHER TOXIC SUBSTANCE, OR RISKS TO EXPOSURE	•	(wesca nant Ir	-	or
s with Ton This	THERETO IS DISCOVERED BY ARCHITECT DURING WORK ON THE PROJECT, ARCHITECT SHALL, IN ITS SOLE DISCRETION, HAVE THE RIGHT TO SUSPEND WORK ON THE PROJECT. CLIENT SHALL HAVE THE DUTY PROMPTLY TO RETAIN A QUALIFIED EXPERT SAFELY TO REMOVE OR SUPERVISE THE REMOVAL OF SUCH ASBESTOS OR OTHER TOXIC SUBSTANCE. CLIENT SHALL INDEMNIFY AND HOLD ARCHITECT, ITS AFFILIATES AND SUBCON- TRACTORS,			_	Rem	nodelir	-	
ged. Les, or This	AND THEIR OFFICERS, AGENTS AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITY ON THE PART OF OR DAMAGE TO SUCH ENTITIES OR PERSONS, INCLUDING THE COST OF LEGAL FEES AND EXPENSES, AS SUCH FEES AND EXPENSES ARE INCURRED, WHICH MAY RESULT FROM ASBESTOS OR OTHER TOXIC SUBSTANCE EXPOSURE ON THE PROJECT.					roject		
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WALL PARTITION TYPE 1 >



GENERAL NOTES

ADJACENT WALL.

1. REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01. 2. SOUND CONTROL BATT TO BE SOUND ATTENUATION BATT BY OWENS CORNING OR APPROVED EQUAL. 3. FINISH NEW WALL ON BOTH SIDES WITH ONE COAT PRIMER AND TWO COATS OF OF FINISH PAINT TO MATCH

Norwescap C4E Tenant Interior Remodeling Project

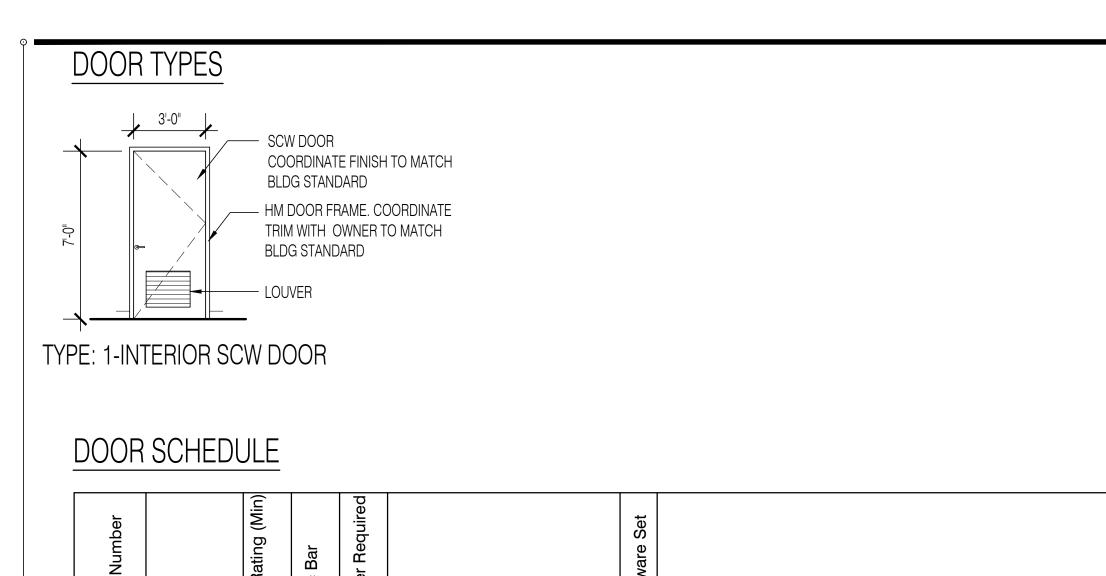
PROJECT LOCATION: BLOCK 703

LOT 6 37 MAIN ST SUSSEX, NJ 07461

OWNER/APPLICANT:



	Date	Issues and Revisions	By	Chec
1.	04/18/24	ISSUE FOR PERMIT	CG	BH
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REMARKS

SOLID CORE WOOD DOORS (SCW)

COORDINATE WITH HARDWARE AND FRAMES.

CONFORM TO AWI STANDARDS AND NWWDA STANDARD. ALL SOLID CORE VENEER TO BE 5 PLY, REFER TO DOOR TYPE FOR FINISH. **FLUSH TYPE, 1 ³" THICK, PARTICLE BOARD CORE, 5 PLY HOT PRESS LAMINATED CONSTRUCTION WITH STILES AND RAILS BONDED TO CORE. DOORS TO BE AWI CUSTOM GRADE.

MINERAL CORE FOR DOORS WITH FIRE RATINGS OVER 20 MINUTES.

**STILE & RAIL, 1 $\frac{3}{4}$ " THICK, PARTICLE BOARD CORE, 5 PLY HOT PRESS LAMINATED CONSTRUCTION WITH STILES AND RAILS BONDED TO CORE. DOORS TO BE AWI CUSTOM GRADE.

WOOD TO MATCH EXISTING

DOORS BY EGGERS OR APPROVED EQUAL, COORDINATE WITH HARDWARE AND FRAMES.

HOLLOW METAL DOORS & FRAMES (HM)

ALL HOLLOW METAL DOORS AND FRAMES BY 'STEELCRAFT' OR EQUAL. EXTERIOR HOLLOW METAL DOORS SHALL BE CONSTRUCTED WITH 18 GUAGE FACE SKINS AND L-20 POLYSTYRENE CORE (R-4.3 MIN.). DOORS TO HAVE CONTINUOUS VERTICAL MECHANICAL INTERLOCKING JOINTS WITH VISIBLE EDGE SEAMS. TOP AND BOTTOM STEEL REINFORCEMENT CHANNELS SHALL BE 14 GA. AND SPOT WELDED INSIDE DOORS. HINGE REINFORCEMENTS SHALL BE 7 GA. LOCK AND CLOSER REINFORCEMENTS SHALL BE 16 GA. FLUSH FRAMES SHALL BE MANUFACTURED FROM 16 GA. COLD ROLLED STEEL. ALL FRAMES TO BE KNOCKDOWN TYPE. FRAMES SHALL HAVE FACTORY INSTALLED RUBBER SILENCERS. (THREE PER STRIKE JAMB.) FRAMES TO HAVE FACTORY INSTALLED 7 GA. HINGE REINFORCEMENTS AND 14 GA. STRIKE REINFORCEMENT. ALL DOORS AND FRAMES SHALL BE CLEANED, PHOSPHATIZED, AND FINISHED WITH ONE COAT OF BAKED ON RUST INHIBITING PRIMER.

CONTRACTOR TO PAINT WITH SATIN PAINT FINISH ALL HM DOORS & FRAMES. COLOR BY ARCHITECT, REFER TO DOOR TYPE.

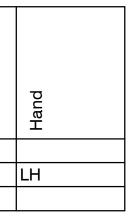
HARDWARE NOTES

1. HARDWARE SUBCONTRACTOR TO PROVIDE COMPLETE HARDWARE SHOP DRAWINGS FOR REVIEW. ALL HARDWARE INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS & RECOMMENDATIONS AND TO BE IN ACCORDANCE TO ALL CODES. 2. HARDWARE SPECIFIER TO PROVIDE UP TO TWO MEETINGS TO REVIEW HARDWARE & KEYING REQUIREMENTS W/ TENANT & OWNER. ASSUME 1 MASTER KEY FOR LANDLORD, 1 SUB-MASTER FOR TENANT WILL BE REQUIRED AT MIN. COORDINATE CORE REQUIRED TO MEET

KEYING REQUIREMENTS. 3. CONTRACTOR TO COORDINATE ALL DOOR

COORDINATORS AND HARDWARE WITH DESIGNATED HARDWARE FUNCTION

4. FOR BIDDING PURPOSE HARDWARE TO BE BY SCHLAGE OR VON DUPRIN OR APPROVED EQUAL. ALL HARDWARE TO BE HEAVY DUTY COMMERCIAL GRADE. MATCH EXISTING.



GENERAL NOTES

2. COORDINATE ALL DOOR SWING (AND SIDELIGHT POSITION-WHERE APPLICABLE) WITH FLOOR PLAN 3. PROVIDE SHOP DRAWINGS FOR APPROVAL. 4. REFER TO CONSTRUCTION PLAN FOR HAND OF DOOR. 5. FOR ALL DOOR LOCATIONS W/O FRAMES, OPENINGS SHALL RECEIVE CONT. WOOD BLOCKING CONCEALED IN HEAD FOR MOUNTING OF HARDWARE. 6. FABRICATE AND INSTALL ALL WORK IN STRICT ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS, ORIGINAL DESIGN, FINAL SHOP DRAWINGS AND MANUFACTURERS RECOMMENDATIONS, ANCHORING ALL COMPONENTS FIRMLY IN POSITION FOR LONG LIFE UNDER HEAVY USE. 7. PROVIDE CUT-OUT, REINFORCEMENTS, ANCHORS AND FASTENERS FOR ALL HARDWARE IN ALL DOORS AND FRAMES AS PER MANUFACTURER'S SPECIFICATIONS. 8. ALL DOORS SHALL HAVE UNDERCUTS OF $\frac{1}{2}$ " U.O.N. 9. ALL SCW DOOR FINISH TO MATCH EXISTING DOORS WOOD STAIN OR PAINT COLOR. PROVIDE SAMPLE FOR OWNER APPROVAL 10. ALL HARDWARE TO MATCH EXISTING DOOR HARDWARE FINISH, U.O.N. PROVIDE SAMPLE FOR APPROVAL.

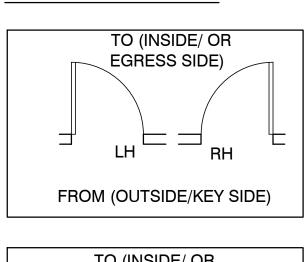
1. ALL NEW DOORS TO MATCH EXISTING. COORDINATE ALL KEYING AND

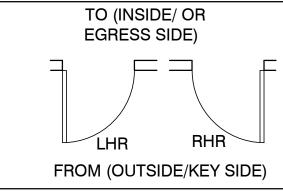
HARDWARE WITH OWNER AND THEIR HARDWARE VENDOR.

11. ALL HOLLOW METAL FRAMES TO BE SAME FINISH AS EXISTING DOOR FRAMES. PROVIDE SAMPLE TO OWNER FOR FINAL APPROVAL

12. PROVIDE WOOD TRIM AROUND PERIMETER OF DOOR OPENING TO MATCH BLDG STANDARD

HANDING LEGEND





HARDWARE SCHEDULE

HARDWARE SET: ES (ENTRY FUNCTION) SINGLE DOOR -ENTRY FUNCTION HANDLE SET -HINGES

-SILENCERS -DOOR STOP- Where hinge is located to

adjacent wall at 90 degree. -DOOR CLOSER- where noted on schedule -CYPHER LOCK ON BOTH SIDES OF DOOR

*NOTE-THIS DOOR IS NOT AN EGRESS EXIT

PROJECT

Norwescap C4E Tenant Interior Remodeling Project

PROJECT LOCATION: BLOCK 703

> 37 MAIN ST SUSSEX, NJ 07461

LOT 6

OWNER/APPLICANT:



SSUE	S & REVISIO	ONS
No.	Date	Issues and Revisions
1.	04/18/24	ISSUE FOR PERMIT

REGISTRATION & SIGNATURE

NJ Licence No: 21AI 01579400 Benjamin J. Horten

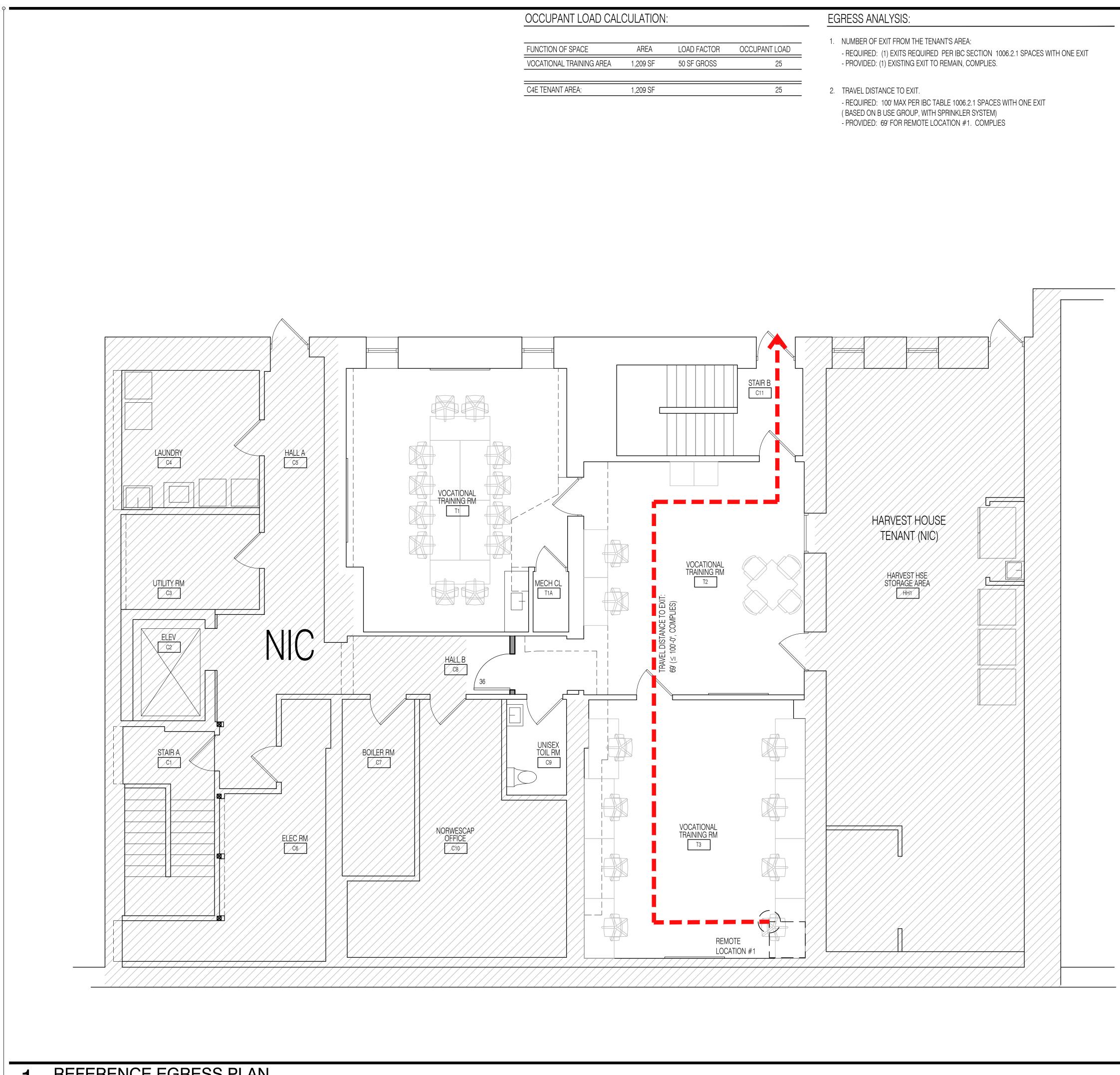
Drawing Description DOOR TYPES

Computer File:

SHEET

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By Check CG BH



REFERENCE EGRESS PLAN SCALE: 1/4" = 1'-0" (IF 11 X17 NOT TO SCALE)

CTION OF SPACE	AREA	LOAD FACTOR	OCCUPANT LOAD
ATIONAL TRAINING AREA	1,209 SF	50 SF GROSS	25
TENANT AREA:	1,209 SF		25

GENERAL NOTES:

1. THIS DRAWING IS FOR REFERENCE ONLY TO SHOW EGRESS PLAN. SEE CONSTRUCTION PLAN FOR SCOPE OF WORK.

Norwescap C4E Tenant Interior Remodeling Project

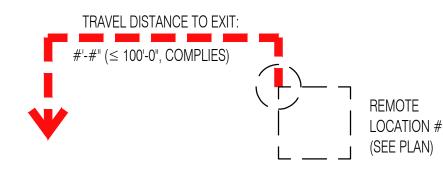
PROJECT LOCATION: BLOCK 703

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OWNER/APPLICANT:



LEGEND:



REMOTE LOCATION #

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Benjamin J. Horten

NJ Licence No: 21AI 01579400

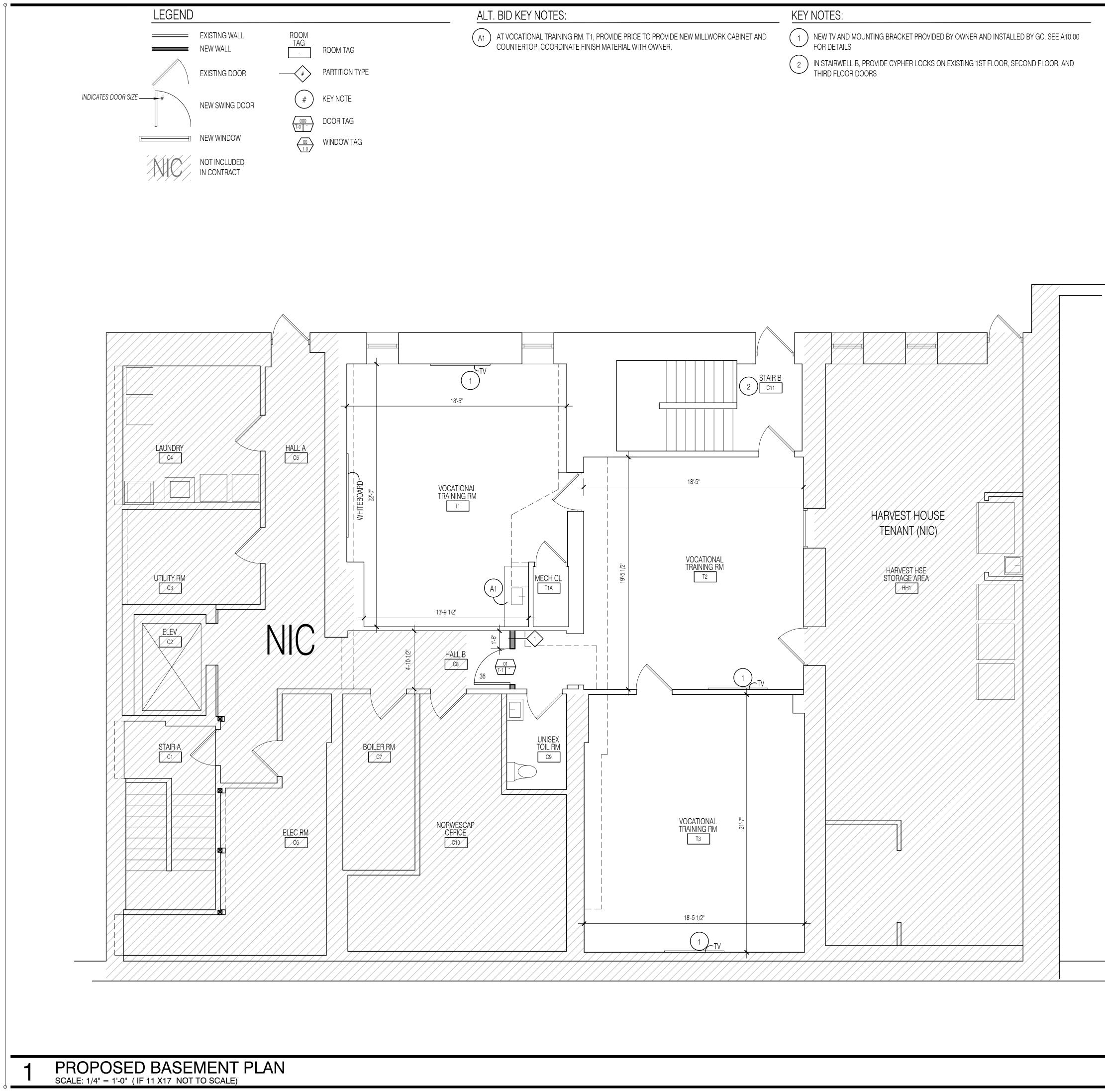
Drawing Description: REFERENCE EGRESS PLAN

Computer File:

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GENERAL NOTES:

1. REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.

2. REVIEW ALL DRAWINGS IN THIS SET AND COORDINATE ALL WORK AS REQUIRED INCLUDING BUT NOT LIMITED TO A2.00-1 DEMO PLAN, A3.00 REFLECTED CEILING PLAN, A10.00 REFERENCE FURNITURE AND OUTLET PLAN AND A11.00 FINISH PLAN

3. ALL MECHANICAL, PLUMBING, SPRINKLERS, FIRE ALARMS TO BE PROVIDED ON A DESIGN BUILD BASIS BY THE CLIENT & THEIR CONTRACTORS. CONTRACTOR SHALL PROVIDE ALL NECESSARY DRAWINGS AND INFORMATION AS REQUIRED BY LOCAL OFFICIALS IF DEEMED NECESSARY.

Norwescap C4E Tenant Interior Remodeling Project

PROJECT LOCATION: BLOCK 703

LOT 6 37 MAIN ST SUSSEX, NJ 07461

OWNER/APPLICANT:



No.	Date	Issues and Revisions	By	Check
1.	04/18/24	ISSUE FOR PERMIT	CG	BH
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Benjamin J. Horten

Drawing Description:

NJ Licence No: 21AI 01579400

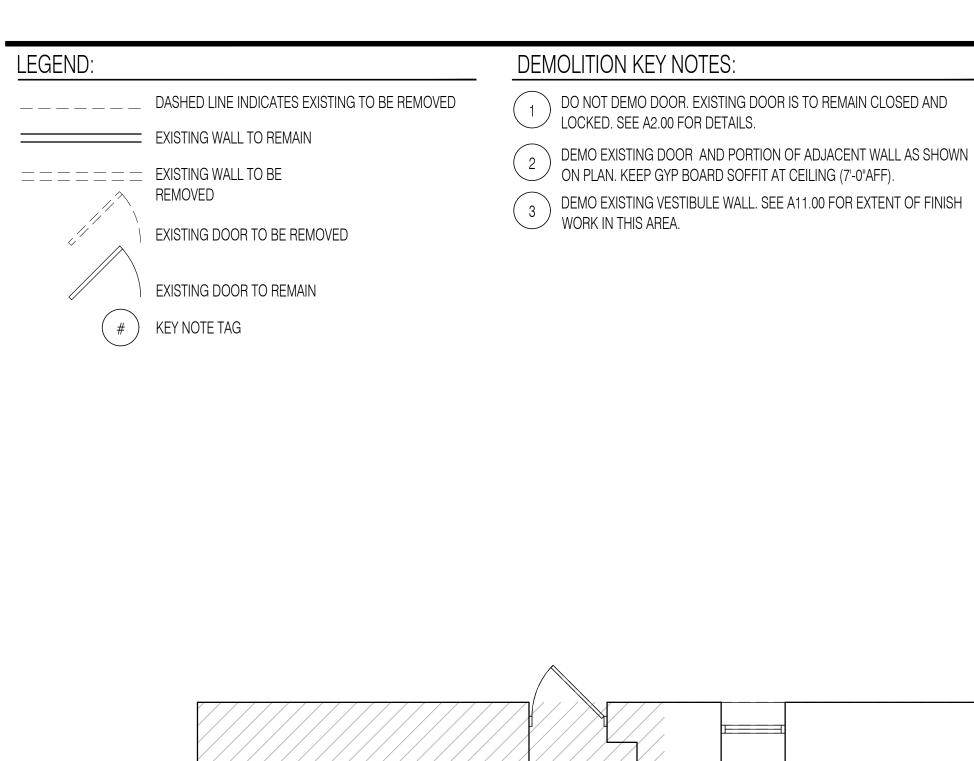
PROPOSED BASEMENT PLAN

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SHEET







GENERAL DEMOLITION NOTES:

1. COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.

2. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.

3. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.

4. ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND STUB OFF. NOTIFY THE AFFECTED UTILITY CO. AND BLDG. MGR. IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THIS WORK.

5. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.

 COORDINATE WITH OWNER ALL ITEMS REQUIRED FOR SALVAGING PRIOR TO DEMOLITION.
 HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION, AND DETERMINE WHETHER ANY COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO E.P.A. STANDARDS) PRIOR TO DEMOLITION.

- 8. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
- PROVIDE AND MANTAIN BARRICADES, LIGHTING AND GUARD RAILS AS REQ'D BY APPLICABLE REGULATORY ADVISORY TO PROTECT OCCUPANTS OF BLDG., WORKERS, AND PEDESTRIANS.
- 10. MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES DURING DEMOLITION.
- 11. DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE FUTURE NEW WORK. PROTECT EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS.
- 12. PROTECT ALL EXISTING PROPERTY SUCH AS FINISHES, FURNITURE, APPLIANCES ETC AS NECESSARY DURING CONSTRUCTION. COORDINATE WITH OWNER THE EXTENT AND METHOD TO BE USED.
- 13. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE, ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE, OR INJURY.

- 14. CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- 15. DEMOLITION OF ITEMS ABOVE CEILING SHALL BE COORDINATED W/ FUTURE WORK. DO NOT REMOVE ANY ITEMS UNLESS INSTRUCTED BY OWNER & HAS BEEN DETERMINED TO BE NOT REQUIRED.
- 16. EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESION OF MATERIALS BEING DEMOLISHED, IMMEDIATELY REMOVE FROM SITE.
- 17. ANY ITEMS UNWANTED BY OWNER TO BE DISCARDED BY CONTRACTOR.
- 18. REMOVE WASTE MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE IN A CONDITION ACCEPTABLE TO THE ARCHITECT OR PROJECT MANAGER.

Norwescap C4E Tenant Interior Remodeling Project

PROJECT LOCATION: BLOCK 703

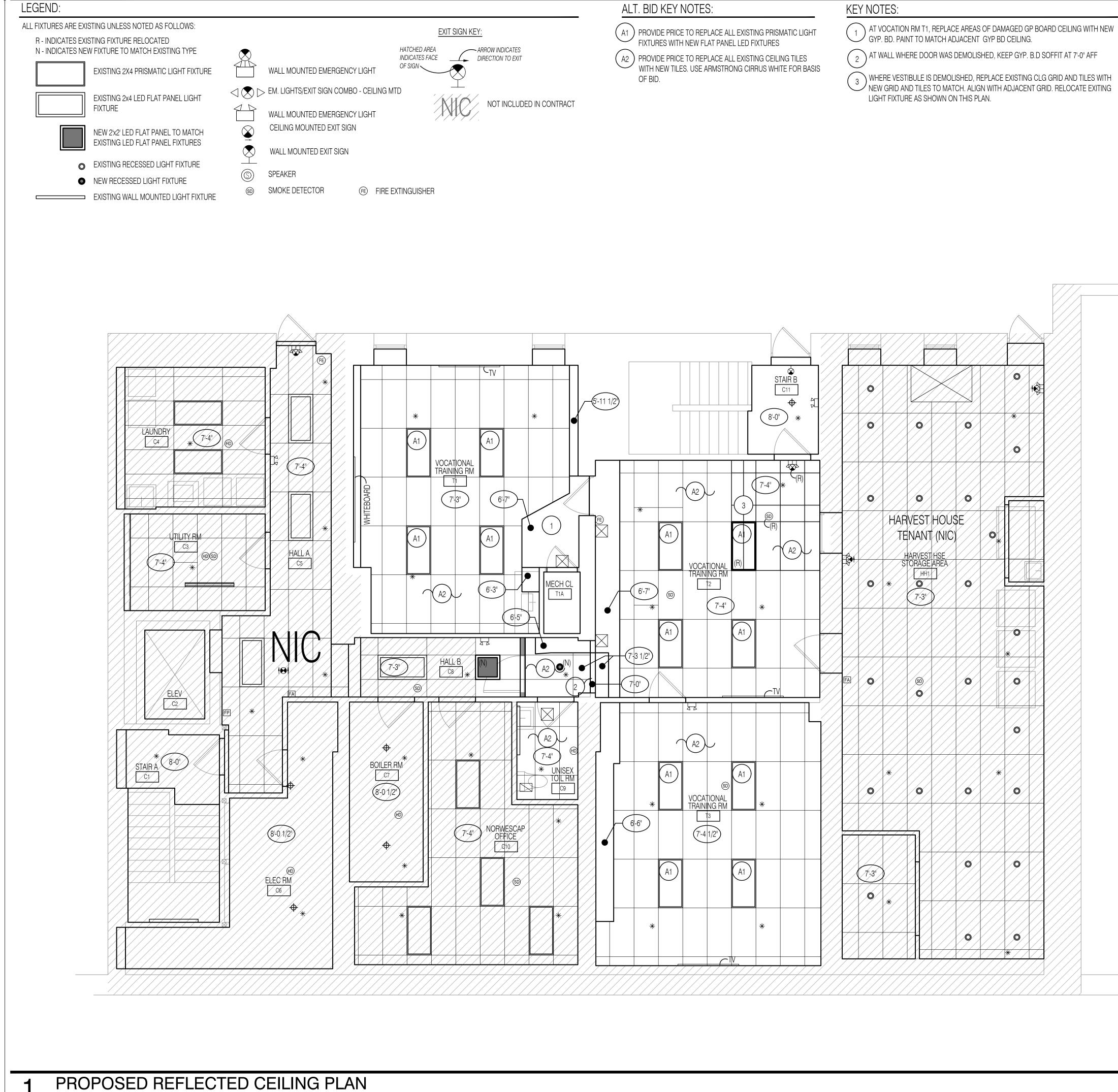
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A2.00-1



SCALE: 1/4" = 1'-0" (IF 11 X17 NOT TO SCALE)

ALT. BID KEY NOTES:



KEY	NO	TES

- 3 WHERE VESTIBULE IS DEMOLISHED, REPLACE EXISTING CLG GRID AND TILES WITH NEW GRID AND TILES TO MATCH. ALIGN WITH ADJACENT GRID. RELOCATE EXITING

GENERAL NOTES:

1. REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.

2. REVIEW ALL DRAWINGS IN THIS SET AND COORDINATE ALL WORK AS REQUIRED INCLUDING BUT NOT LIMITED TO A2.03-1 DEMO PLAN AND A2.03 CONSTRUCTION PLAN.

3. ALL MECHANICAL, PLUMBING, SPRINKLERS, FIRE ALARMS TO BE PROVIDED ON A DESIGN BUILD BY THE CLIENT & THEIR CONTRACTORS. CONTRACTOR SHALL PROVIDE ALL NECESSARY DRAWINGS AND INFORMATION REQUIRED BY LOCAL OFFICIALS IF DEEMED NECESSARY.

4. UNLESS OTHERWISE NOTED ALL FIXTURES ARE EXISTING TO REMAIN.

5. PROVIDE EMERGENCY SIGNS & EM EXIT LIGHTS WHERE INDICATED ON PLAN. PROVIDE ADDITIONAL EXIT SIGNS & EM EXIT LIGHTS AS REQUIRED BY LOCAL OFFICIAL.

6. MAINTAIN ALL EXISTING FIRE ALARM NOTIFICATION DEVICES. IF ANY EXISTING DEVICES ARE NOT SHOWN RELOCATED, THE DEVICE SHALL BE RELOCATED TO ADJACENT AREA. NOTIFY ARCHITECT FOR APPROVAL OF RELOCATED LOCATION.

7. WHERE EXISTING WALLS WERE DEMOLISHED, PROVIDE NEW CLG TILE /GRID TO MATCH EXISTING.

PROJECT

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> 37 MAIN ST SUSSEX, NJ 07461

LOT 6

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PROPOSED REFLECTED CEILING PLAN

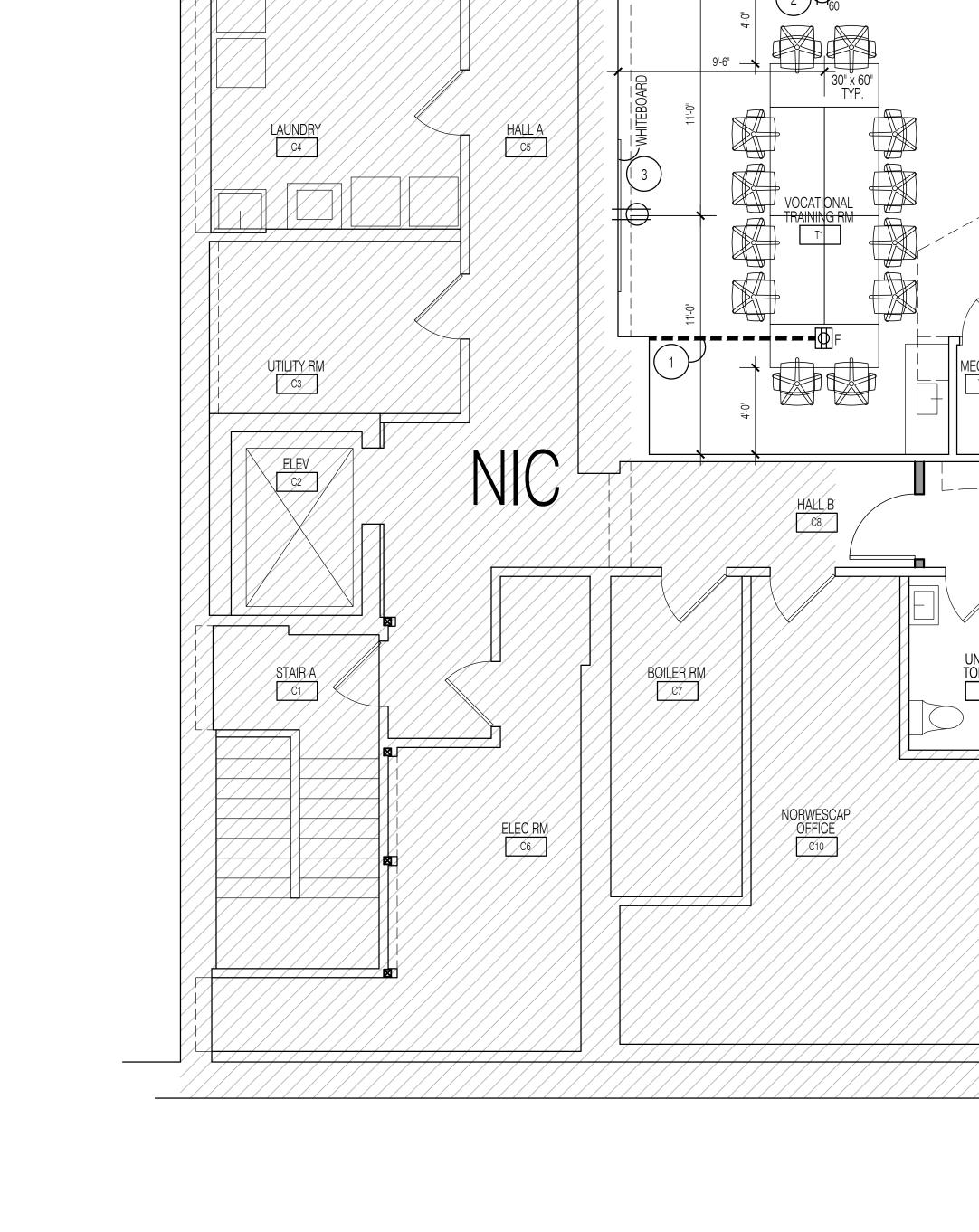
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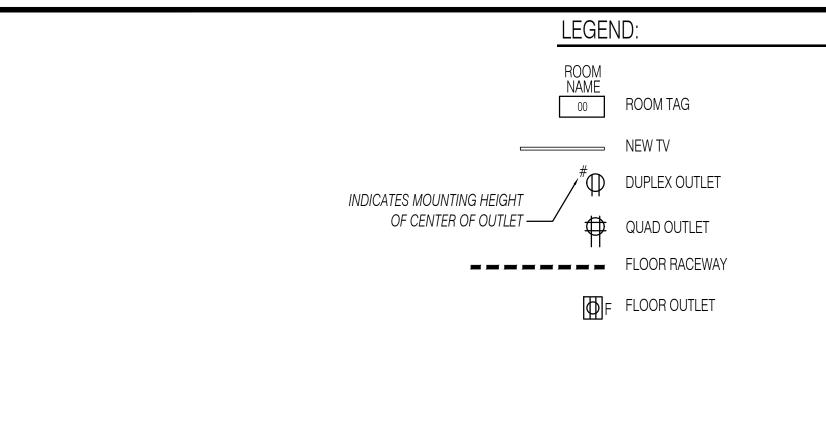
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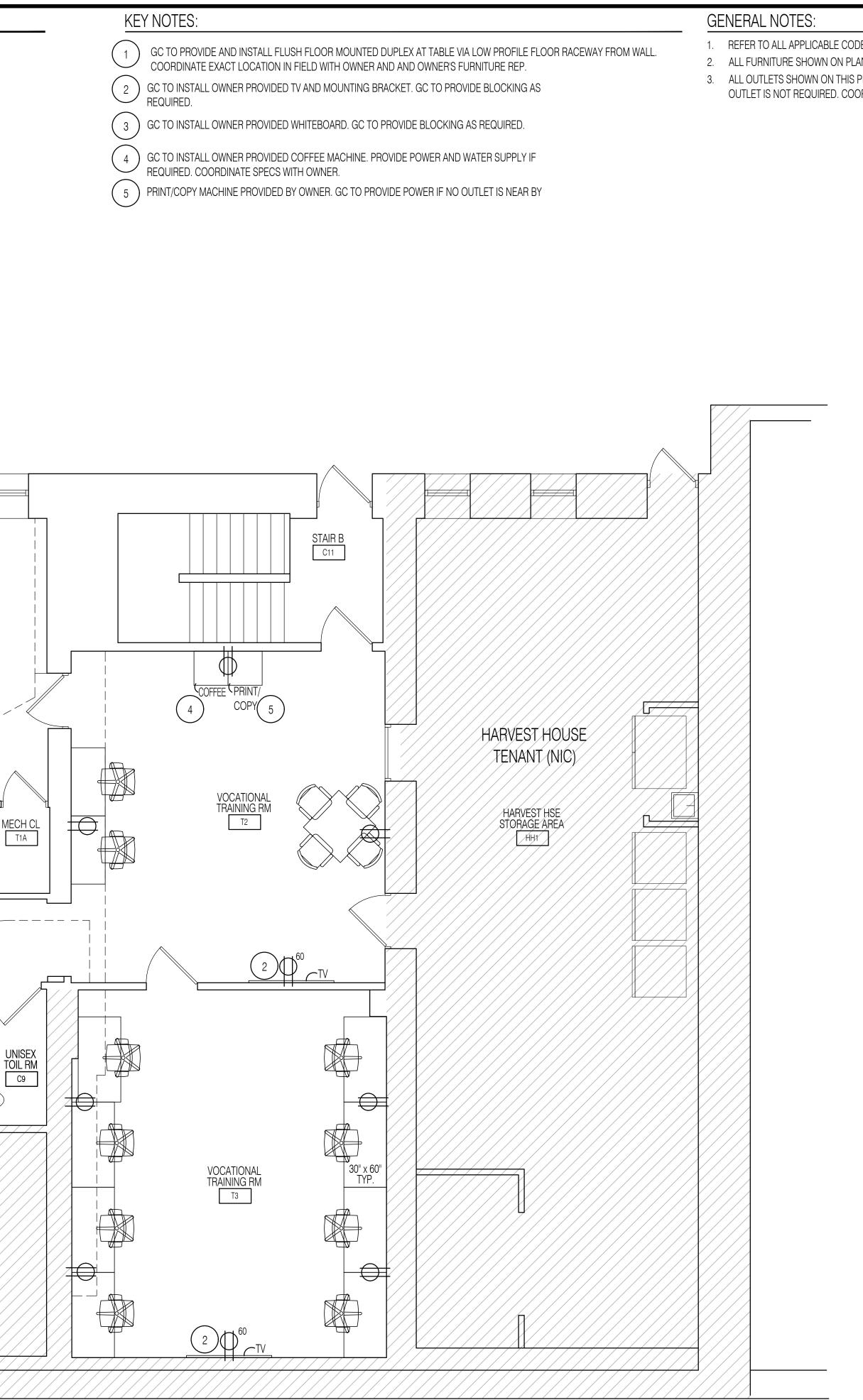
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REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.

ALL FURNITURE SHOWN ON PLAN IS FOR REFERENCE <u>ONLY</u>. FINAL SELECTIONS TO BE MADE BY CLIENT
 ALL OUTLETS SHOWN ON THIS PLAN ARE NEW. IF EXISTING OUTLETS ARE LOCATED WHERE NEW IS SHOWN, THEN A NEW OUTLET IS NOT REQUIRED. COORDINATE FINAL NEW OUTLET COUNT AND THEIR EXACT LOCATIONS WITH OWNER PRIOR TO BID.

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Benjamin J. Horten

NJ Licence No: 21AI 01579400

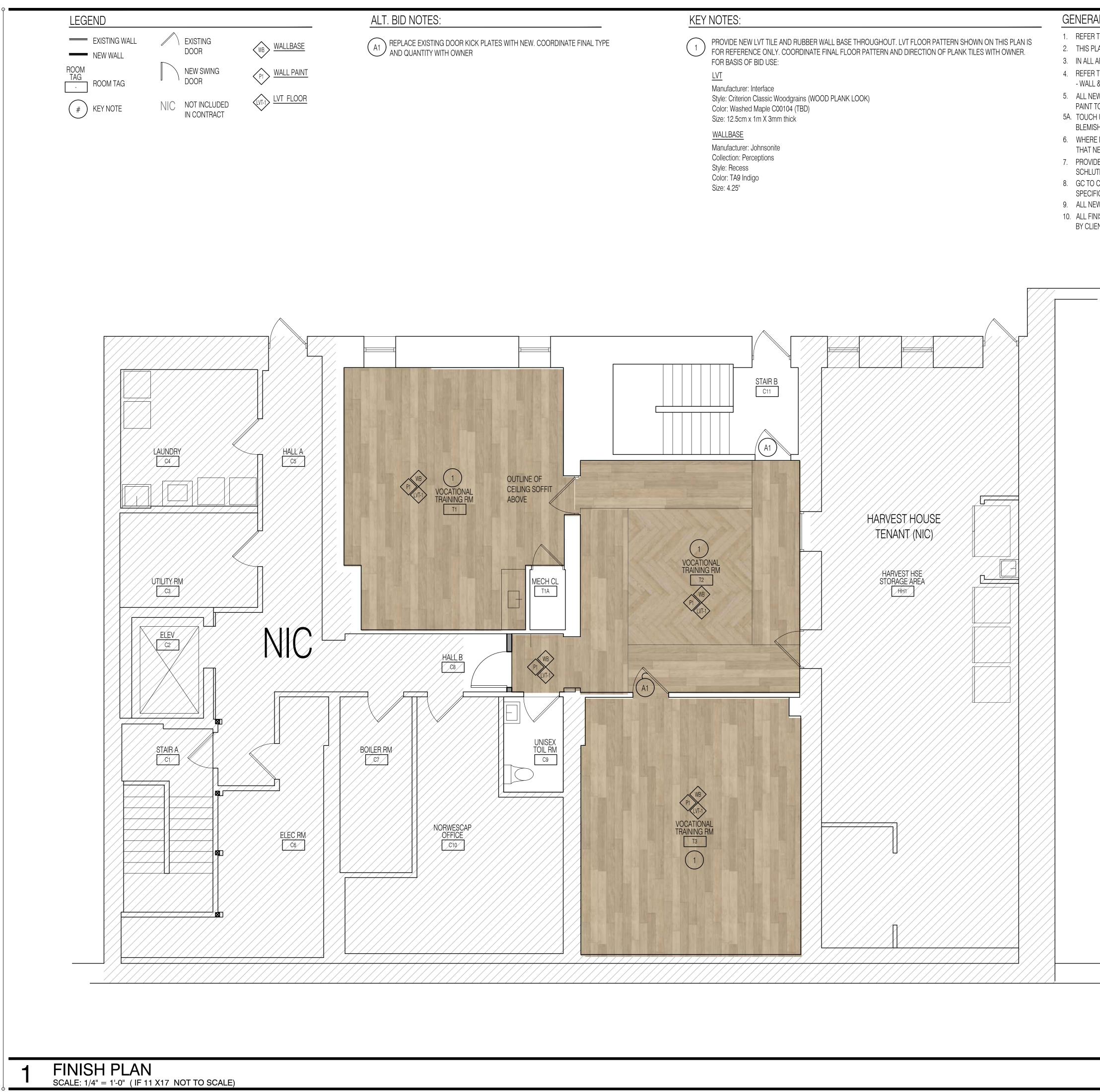
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A10.00





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- 2. THIS PLAN IS FOR REFERENCE ONLY. REFER TO A2 SERIES DWG FOR CONSTRUCTION DETAILS. 3. IN ALL AREAS, FLOOR COVERING SHALL COMPLY WITH THE DOC FF-1 "PILL TEST" (CPSC 16 CFR, PART 1630). 4. REFER TO NCSBC: BUILDING CODE TABLE 803.11 FOR ALL INTERIOR WALL AND CEILING FINISH REQUIREMENTS.
- WALL & CEILING IN INDIVIDUAL ROOM TO BE MIN. CLASS C
- 5. ALL NEW WALLS TO RECEIVE ONE COAT OF PRIMER & TWO COATS OF FINISH PAINT ON BOTH SIDES. WALLS FINISH PAINT TO BE EGSHELL FINISH.
- 5A. TOUCH UP PAINT: EXISTING WALLS IN AREA OF WORK TO RECEIVE ONE COAT OF FINISH PAINT -P1- TO COVER BLEMISHES, MARKS, ETC. OWNER TO PROVIDE MATCHING PAINT. COORDINATE AREAS TO BE PAINTED W/OWNER 6. WHERE NEW WALLS ARE MADE AND EXISTING WALLS ARE REMOVED, PATCH AND PAINT ADJACENT WALLS SUCH THAT NEW AREAS OF WORK BLEND AND MATCH EXISTING WALLS.
- SCHLUTER OR APPROVED EQUAL.
- SPECIFICATIONS.

- 7. PROVIDE ADA COMPLIANT FLOOR TRANSITION WHERE DISSIMILAR FLOORING MEETS. TRANSITION STRIP TO BE BY
- 8. GC TO COORDINATE SURFACE PREP REQUIREMENTS INCLUDING UNDERLAYMENT PER FINISH MATERIAL'S
- 9. ALL NEW AND EXISTING FINISHES IN PROJECT AREA ARE TO BE CLEANED PRIOR TO OCCUPANCY. 10. ALL FINISHES NOTED ARE FOR BIDDING PURPOSES ONLY. FINAL FINISHES TO BE APPROVED
- BY CLIENT. G.C. TO PROVIDE SAMPLES TO CLIENT FOR APPROVAL PRIOR TO ORDERING.

PROJECT

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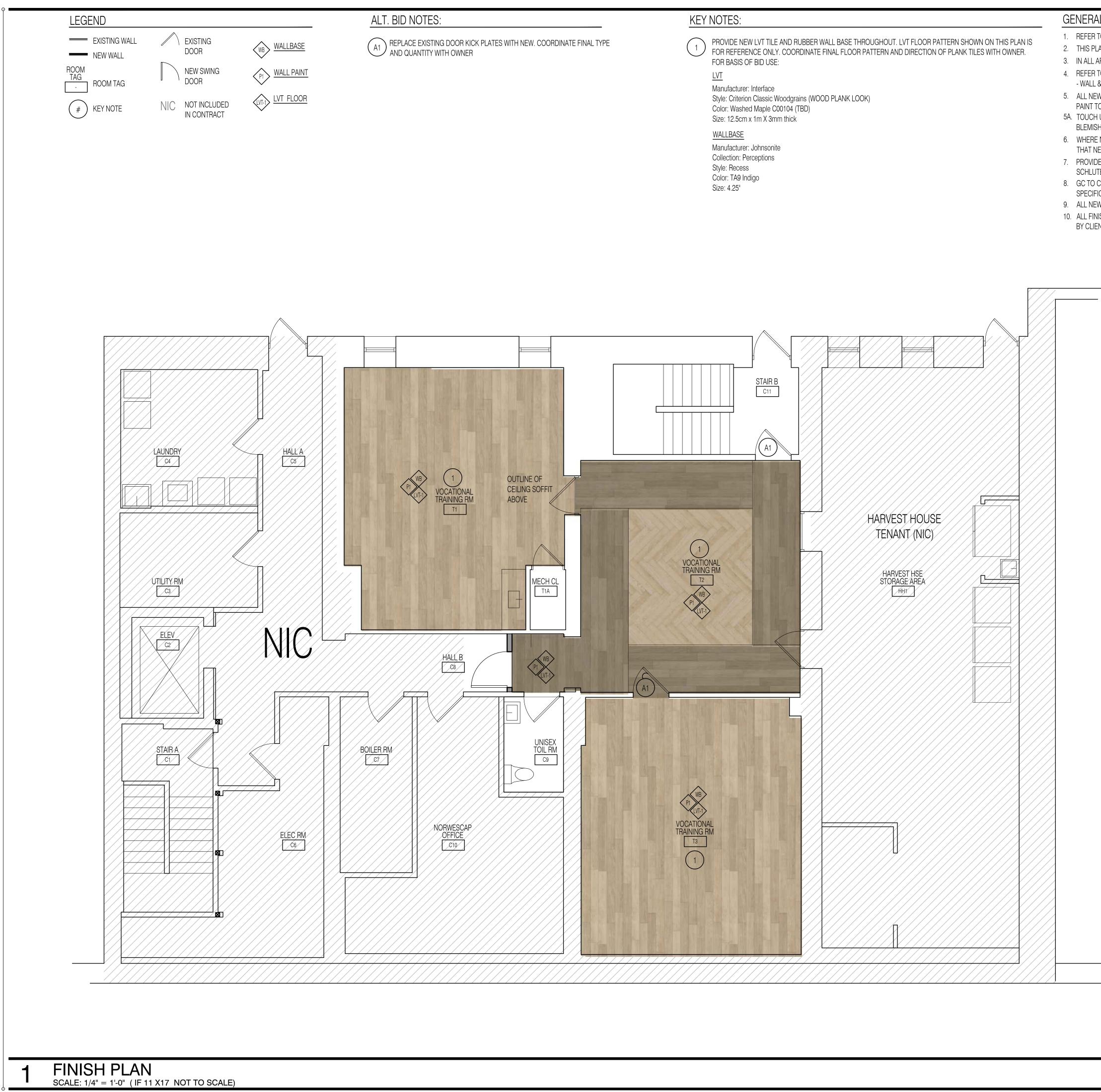


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