

Norwescap- C4E Tenant Interior Remodeling Project

37 Main St
Sussex, NJ 07461

Project Directory

Project Manager:

Norwescap
37 Main Street
Sussex, NJ 07461

Contact: Sean Hyland-Community Development
Project Manager
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email: hylands@norwescap.org

Architect:

Ben Horten Architecture & Design
312 State Route 10
Randolph, NJ 07869

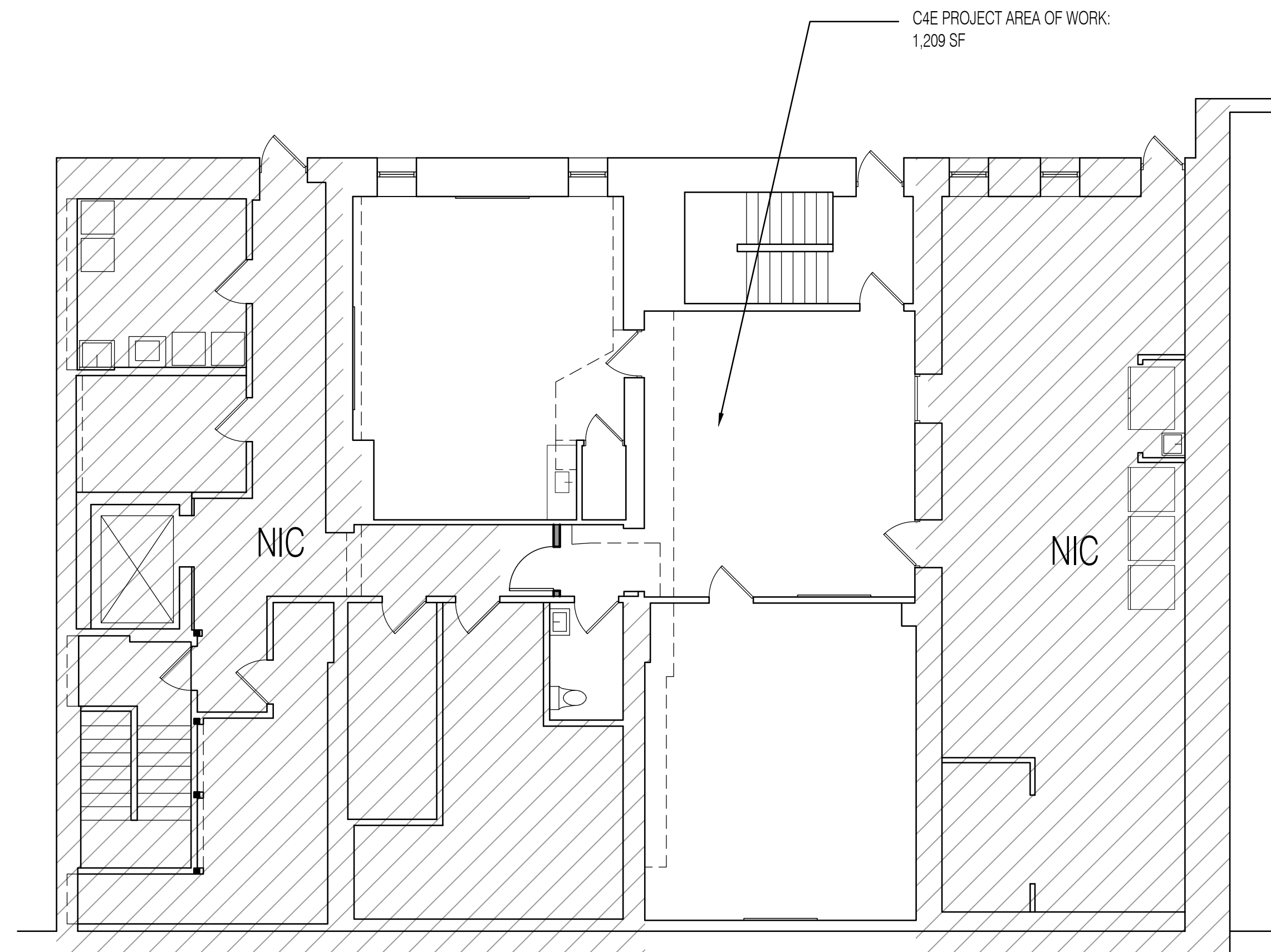
Contact: Ben Horten
Tel: 973-442-5880
Fax: 973-442-5886
email: benhortenarch@gmail.com

CODE/BUILDING INFORMATION

APPLICABLE CODES:	New Jersey Uniform Construction Code (NJUCC, NJAC 5:23-3.14) N.J.A.C. Rehabilitation Subcode - NJAC 5:23-6
	BUILDING SUBCODE (NJAC 5:23-3.14) International Building Code/2021, N.J. ed (IBC w/ NJ edits from 3.14) Other referenced I-Codes (IFC/2021; ISPCS/2021; etc.) Other referenced ICC Standards (ICC/ANSI A117.1-2017; ICC 300-2017; etc.)
	PLUMBING SUBCODE (NJAC 5:23-3.15) National Standard Plumbing Code/2021
	ELECTRICAL SUBCODE (NJAC 5:23-3.16) National Electrical Code (NFPA 70)/2020
	ENERGY SUBCODE (NJAC 5:23-3.18) International Energy Conservation Code/2021 (Low-Rise Residential) ASHRAE 90.1-2019 (Commercial & all other Residential)
	MECHANICAL SUBCODE (NJAC 5:23-3.20) International Mechanical Code/2021
	FUEL GAS SUBCODE (NJAC 5:23-3.22) International Fuel Gas Code/2021
	BARRIER FREE SUBCODE (Chapter 11 of IBC/2015 & NJAC 5:23-7) ICC/ANSI A117.1-2017
CONSTRUCTION TYPE:	EXISTING: 3B CONSTRUCTION, FULLY-SPRINKLERED. PROPOSED: NO CHANGE.
OCCUPANCY:	EXISTING: - GROUP B, OFFICE PROPOSED: - GROUP B, OFFICE (NO CHANGE)
C4E - AREA OF WORK:	1,209 SF
OCCUPANT LOAD:	25 (SEE EGRESS PLAN FOR CALCULATION)

PROJECT NARRATIVE

- THE EXISTING OFFICE SPACE IS TO BE REMODELED TO ACCOMMODATE WHAT IS KNOWN AS C4E (CENTER FOR EDUCATION) PROGRAM AREA. THIS AREA IS TO BE USED FOR VARIOUS TRAINING PROGRAMS.
- THE SCOPE OF WORK INCLUDES
 - ADDING A NEW DOOR IN COMMON HALLWAY FOR SECURITY PURPOSE. THE IDEA IS TO KEEP RESIDENTS WHO LIVE ON UPPER FLOORS FROM ACCESSING THE C4E AREA WITHOUT SUPERVISION. VISA VERSA, THE C4E CLIENTS ACCESS TO COMMON RESIDENT AREAS ARE TO BE RESTRICTED. THIS NEW DOOR IS BEING PROVIDED WITH A CYPHER LOCK.
 - THE FLOORING IS TO BE REPLACED THROUGH THE PROJECT AREA INCLUDING NEW WALL BASE.
 - PLEASE REFER TO ENLARGED PLANS FOR MORE DETAILS.



1 KEY BASEMENT PLAN

SCALE: NTS

SHEET INDEX

- INDICATES SHEETS ISSUED FOR PERMIT
- INDICATES NEW SHEETS ADDED TO SET
- ⊖ INDICATES SHEETS ISSUED W/OUT REVISIONS
- ⊕ INDICATES SHEETS ISSUED W/ REVISIONS

THE PROFESSIONALS INDICATED ON THIS SHEET ALONG WITH THEIR LISTED RESPECTIVE DRAWINGS INDICATE THE NAMED PROFESSIONAL HAS PREPARED OR DIRECTED THE PREPARATION OF THE MATERIAL SHOWN ONLY ON THOSE SHEETS. OTHER DRAWINGS AND DOCUMENTS LISTED ON THIS INDEX SHALL NOT BE CONSIDERED PREPARED BY ANYONE OTHER THAN THE NAMED PROFESSIONAL UNDER WHICH THE DRAWING IS LISTED.

ARCHITECTURAL - BEN HORTEN ARCHITECTURE & DESIGN		ISSUE FOR PERMIT DATE: 04/18/24					
A0.00	TITLE PAGE	○					
A0.01	GENERAL NOTES	○					
A0.06	WALL PARTITION TYPE	○					
A0.10	DOOR TYPE AND SCHEDULE	○					
A1.00	REFERENCE OVERALL FLOOR PLAN & CODE ANALYSIS PLAN	○					
A2.00	FLOOR PLAN	○					
A2.00-1	DEMOLITION PLAN	○					
A3.00	REFLECTED CEILING PLAN	○					
A10.00	REFERENCE FURNITURE AND OUTLET PLAN	○					
A11.00	REFERENCE FINISH PLAN	○					
		○					

PROJECT

Norwescap C4E Tenant Interior Remodeling Project

PROJECT LOCATION:
BLOCK 703 LOT 6

37 MAIN ST
SUSSEX, NJ 07461

OWNER/APPLICANT:



ARCHITECT:



ISSUES & REVISIONS

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1.	04/18/24	ISSUE FOR PERMIT	CG	BH

REGISTRATION & SIGNATURE

Benjamin J. Horten NJ Licence No: 21AI 01579400

Drawing Description:
TITLE PAGE

Computer File:
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SHEET

A0.00

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GENERAL NOTES

1. REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
2. SOUND CONTROL BATT TO BE SOUND ATTENUATION BATT BY OWENS CORNING OR APPROVED EQUAL.
3. FINISH NEW WALL ON BOTH SIDES WITH ONE COAT PRIMER AND TWO COATS OF OF FINISH PAINT TO MATCH ADJACENT WALL.

PROJECT

Norwescap C4E Tenant Interior Remodeling Project

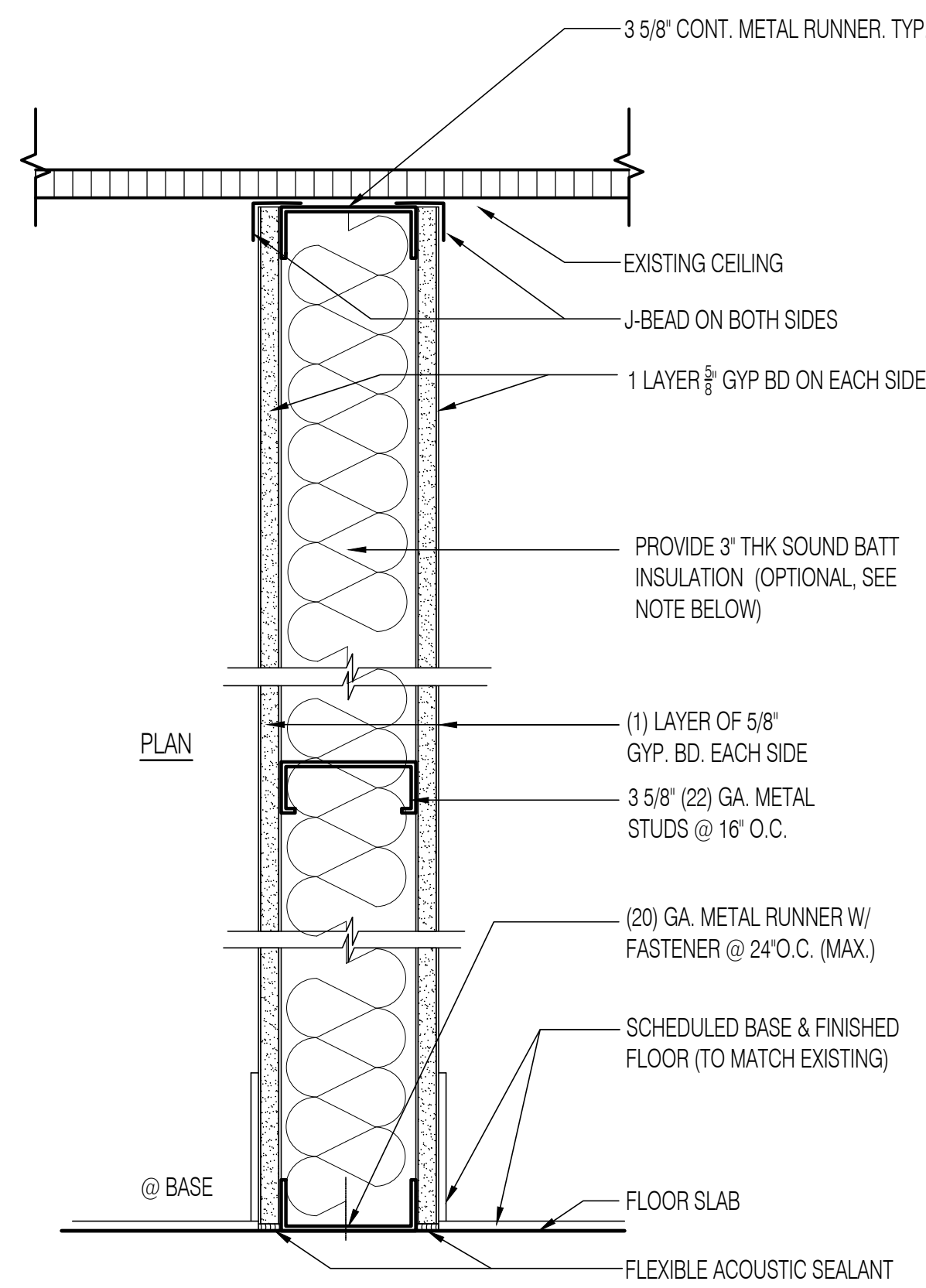
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BLOCK 703 LOT 6

37 MAIN ST
SUSSEX, NJ 07461

OWNER/APPLICANT:

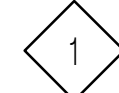


ARCHITECT:
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NOTE: PROVIDE SOUND BATT INSULATION AS AN OPTION. COORDINATE W/ TENANT IF THIS OPTION IS REQUIRED.

1 WALL PARTITION TYPE
SCALE: NTS



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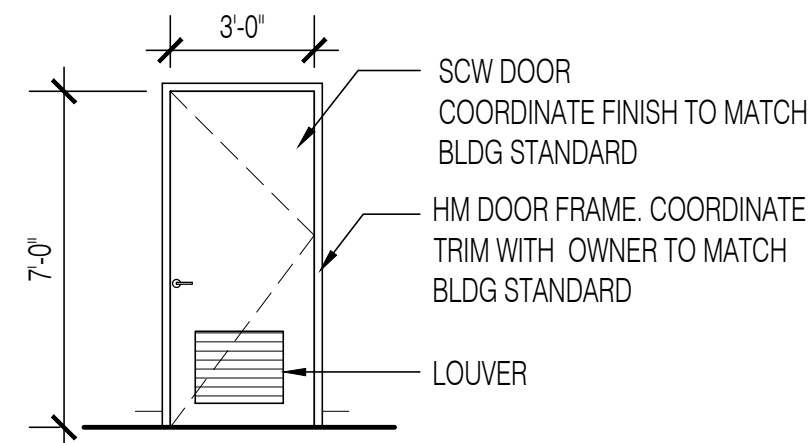
Drawing Description:
WALL PARTITION TYPES

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SHEET **A0.06**

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DOOR TYPES



TYPE: 1-INTERIOR SCW DOOR

DOOR SCHEDULE

Door Number	Type	Fire Rating (Min) Label	Panic Bar	Closer Required	REMARKS	Hardware Set	FROM	TO	Hand
FIRST FLOOR									
01	T-1	--	--	--		ES	FR: ENTRY	TO: HALLWAY	LH

SOLID CORE WOOD DOORS (SCW)

COORDINATE WITH HARDWARE AND FRAMES. CONFORM TO AWI STANDARDS AND NWWDA STANDARD. ALL SOLID CORE VENEER TO BE 5 PLY, REFER TO DOOR TYPE FOR FINISH. **FLUSH TYPE, 1 3/4" THICK, PARTICLE BOARD CORE, 5 PLY HOT PRESS LAMINATED CONSTRUCTION WITH STILES AND RAILS BONDED TO CORE. DOORS TO BE AWI CUSTOM GRADE. MINERAL CORE FOR DOORS WITH FIRE RATINGS OVER 20 MINUTES. **STILE & RAIL, 1 3/4" THICK, PARTICLE BOARD CORE, 5 PLY HOT PRESS LAMINATED CONSTRUCTION WITH STILES AND RAILS BONDED TO CORE. DOORS TO BE AWI CUSTOM GRADE.

WOOD TO MATCH EXISTING DOORS BY EGGERS OR APPROVED EQUAL, COORDINATE WITH HARDWARE AND FRAMES.

HOLLOW METAL DOORS & FRAMES (HM)

ALL HOLLOW METAL DOORS AND FRAMES BY 'STEELCRAFT' OR EQUAL. EXTERIOR HOLLOW METAL DOORS SHALL BE CONSTRUCTED WITH 18 GAUGE FACE SKINS AND L-20 POLYSTYRENE CORE (R-4.3 MIN.). DOORS TO HAVE CONTINUOUS VERTICAL MECHANICAL INTERLOCKING JOINTS WITH VISIBLE EDGE SEAMS. TOP AND BOTTOM STEEL REINFORCEMENT CHANNELS SHALL BE 14 GA. AND SPOT WELDED INSIDE DOORS. HINGE REINFORCEMENTS SHALL BE 7 GA. LOCK AND CLOSER REINFORCEMENTS SHALL BE 16 GA. FLUSH FRAMES SHALL BE MANUFACTURED FROM 16 GA. COLD ROLLED STEEL. ALL FRAMES TO BE KNOCKDOWN TYPE. FRAMES SHALL HAVE FACTORY INSTALLED RUBBER SILENCERS. (THREE PER STRIKE JAMB.) FRAMES TO HAVE FACTORY INSTALLED 7 GA. HINGE REINFORCEMENTS AND 14 GA. STRIKE REINFORCEMENT. ALL DOORS AND FRAMES SHALL BE CLEANED, PHOSPHATIZED, AND FINISHED WITH ONE COAT OF BAKED ON RUST INHIBITING PRIMER. CONTRACTOR TO PAINT WITH SATIN PAINT FINISH ALL HM DOORS & FRAMES. COLOR BY ARCHITECT, REFER TO DOOR TYPE.

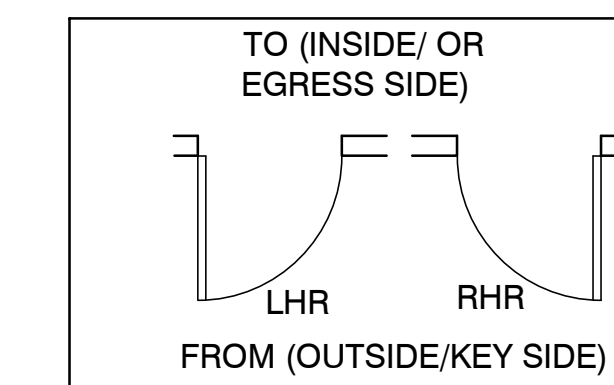
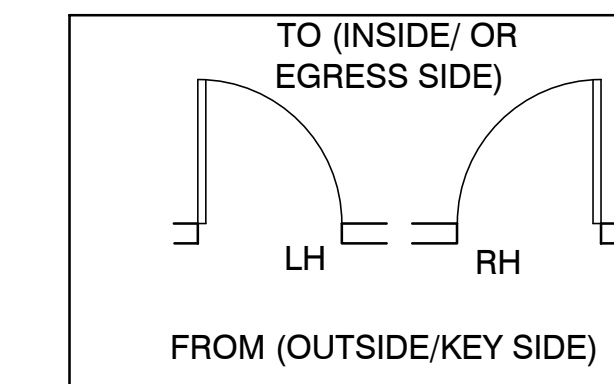
HARDWARE NOTES

- HARDWARE SUBCONTRACTOR TO PROVIDE COMPLETE HARDWARE SHOP DRAWINGS FOR REVIEW. ALL HARDWARE INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS & RECOMMENDATIONS AND TO BE IN ACCORDANCE TO ALL CODES.
- HARDWARE SPECIFIER TO PROVIDE UP TO TWO MEETINGS TO REVIEW HARDWARE & KEYING REQUIREMENTS W/ TENANT & OWNER. ASSUME 1 MASTER KEY FOR LANDLORD, 1 SUB-MASTER FOR TENANT WILL BE REQUIRED AT MIN. COORDINATE CORE REQUIRED TO MEET KEYING REQUIREMENTS.
- CONTRACTOR TO COORDINATE ALL DOOR COORDINATORS AND HARDWARE WITH DESIGNATED HARDWARE FUNCTION.
- FOR BIDDING PURPOSE. HARDWARE TO BE BY SCHLAGE OR VON DUPRIN OR APPROVED EQUAL. ALL HARDWARE TO BE HEAVY DUTY COMMERCIAL GRADE. MATCH EXISTING.

GENERAL NOTES

- ALL NEW DOORS TO MATCH EXISTING. COORDINATE ALL KEYING AND HARDWARE WITH OWNER AND THEIR HARDWARE VENDOR.
- COORDINATE ALL DOOR SWING (AND SIDELIGHT POSITION-WHERE APPLICABLE) WITH FLOOR PLAN
- PROVIDE SHOP DRAWINGS FOR APPROVAL.
- REFER TO CONSTRUCTION PLAN FOR HAND OF DOOR.
- FOR ALL DOOR LOCATIONS W/O FRAMES, OPENINGS SHALL RECEIVE CONT. WOOD BLOCKING CONCEALED IN HEAD FOR MOUNTING OF HARDWARE.
- FABRICATE AND INSTALL ALL WORK IN STRICT ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS, ORIGINAL DESIGN, FINAL SHOP DRAWINGS AND MANUFACTURERS RECOMMENDATIONS. ANCHORING ALL COMPONENTS FIRMLY IN POSITION FOR LONG LIFE UNDER HEAVY USE.
- PROVIDE CUT-OUT, REINFORCEMENTS, ANCHORS AND FASTENERS FOR ALL HARDWARE IN ALL DOORS AND FRAMES AS PER MANUFACTURERS SPECIFICATIONS.
- ALL DOORS SHALL HAVE UNDERCUTS OF 3/4" U.O.N.
- ALL SCW DOOR FINISH TO MATCH EXISTING DOORS WOOD STAIN OR PAINT COLOR. PROVIDE SAMPLE FOR OWNER APPROVAL.
- ALL HARDWARE TO MATCH EXISTING DOOR HARDWARE FINISH, U.O.N. PROVIDE SAMPLE FOR APPROVAL.
- ALL HOLLOW METAL FRAMES TO BE SAME FINISH AS EXISTING DOOR FRAMES. PROVIDE SAMPLE TO OWNER FOR FINAL APPROVAL.
- PROVIDE WOOD TRIM AROUND PERIMETER OF DOOR OPENING TO MATCH BLDG STANDARD

HANDING LEGEND



HARDWARE SCHEDULE

HARDWARE SET- ES (ENTRY FUNCTION) SINGLE DOOR -ENTRY FUNCTION HANDLE SET -HINGES -SILENCERS -DOOR STOP- Where hinge is located to adjacent wall at 90 degree. -DOOR CLOSER- where noted on schedule -CYPHER LOCK ON BOTH SIDES OF DOOR

**NOTE-THIS DOOR IS NOT AN EGRESS EXIT*

PROJECT

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BLOCK 703 LOT 6

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ARCHITECT:



ISSUES & REVISIONS

No.	Date	Issues and Revisions	By	Check
1.	04/18/24	ISSUE FOR PERMIT	CG	BH

REGISTRATION & SIGNATURE

Benjamin J. Horten NJ Licence No: 21A1 01579400

Drawing Description:

DOOR TYPES

Computer File:
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SHEET

A0.10

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OCCUPANT LOAD CALCULATION:

FUNCTION OF SPACE	AREA	LOAD FACTOR	OCCUPANT LOAD
VOCATIONAL TRAINING AREA	1,209 SF	50 SF GROSS	25
C4E TENANT AREA:	1,209 SF		25

EGRESS ANALYSIS:

- NUMBER OF EXIT FROM THE TENANT'S AREA:
 - REQUIRED: (1) EXITS REQUIRED PER IBC SECTION 1006.2.1 SPACES WITH ONE EXIT
 - PROVIDED: (1) EXISTING EXIT TO REMAIN, COMPLIES.
- TRAVEL DISTANCE TO EXIT:
 - REQUIRED: 100' MAX PER IBC TABLE 1006.2.1 SPACES WITH ONE EXIT (BASED ON B USE GROUP, WITH SPRINKLER SYSTEM)
 - PROVIDED: 69' FOR REMOTE LOCATION #1. COMPLIES

GENERAL NOTES:

- THIS DRAWING IS FOR REFERENCE ONLY TO SHOW EGRESS PLAN. SEE CONSTRUCTION PLAN FOR SCOPE OF WORK.

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BLOCK 703 LOT 6

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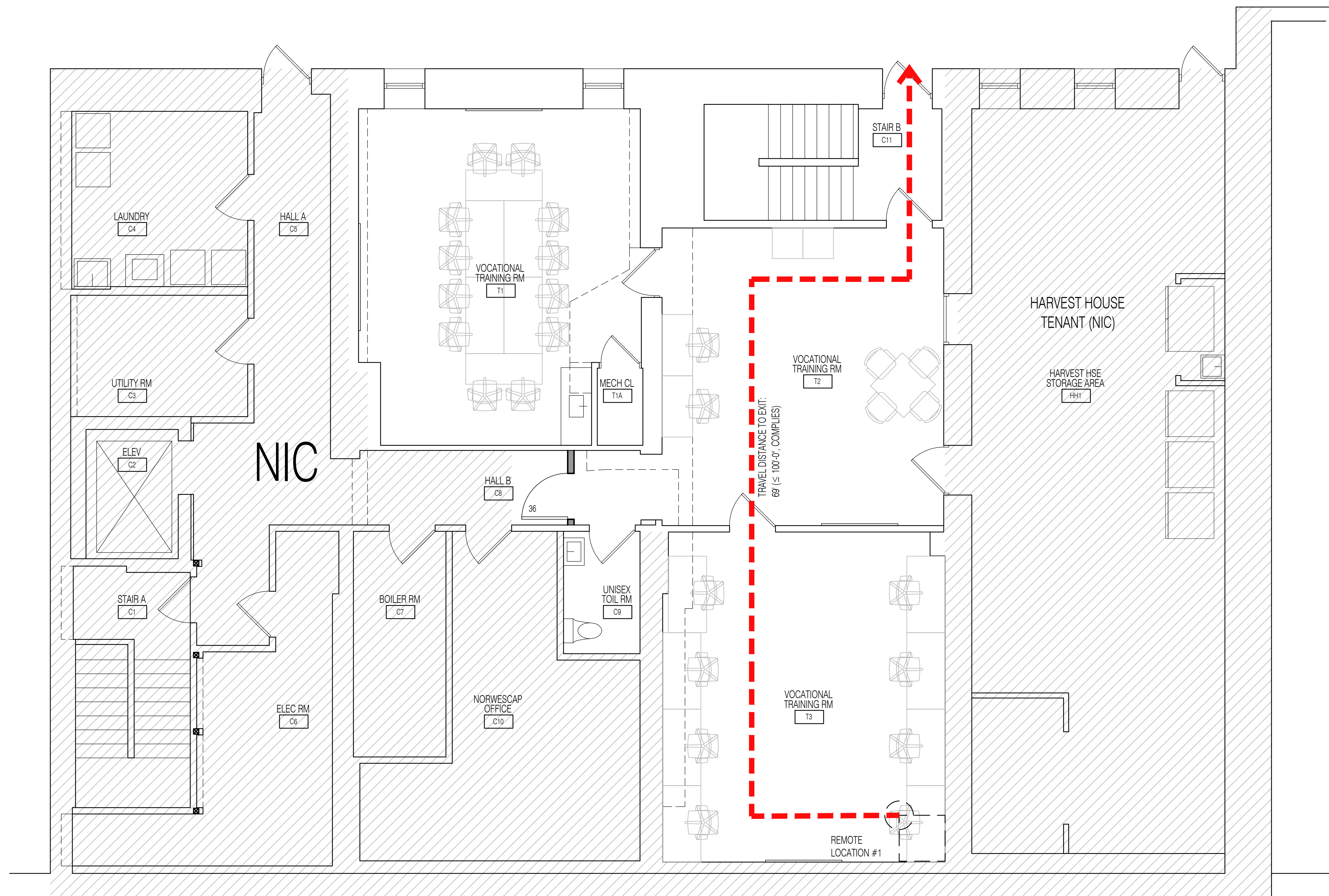
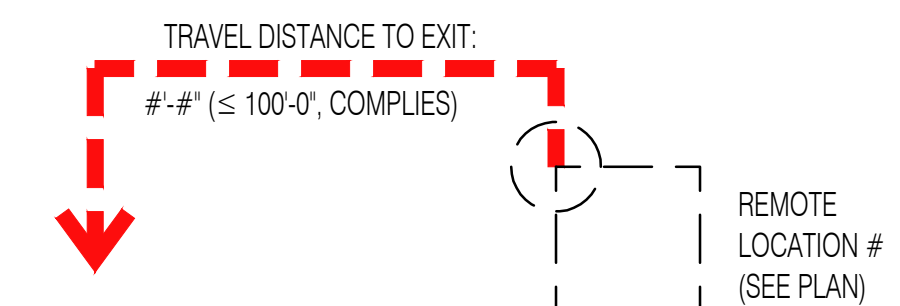


NORWESCAP

ARCHITECT:

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LEGEND:



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Drawing Description:
REFERENCE EGRESS PLAN

Computer File:
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SHEET

A1.00

1 REFERENCE EGRESS PLAN
SCALE: 1/4" = 1'-0" (IF 11 X17 NOT TO SCALE)

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LEGEND

- EXISTING WALL
- NEW WALL
- EXISTING DOOR
- NEW SWING DOOR
- NEW WINDOW
- NOT INCLUDED IN CONTRACT
- ROOM TAG
- PARTITION TYPE
- KEY NOTE
- DOOR TAG
- WINDOW TAG

ALT. BID KEY NOTES:

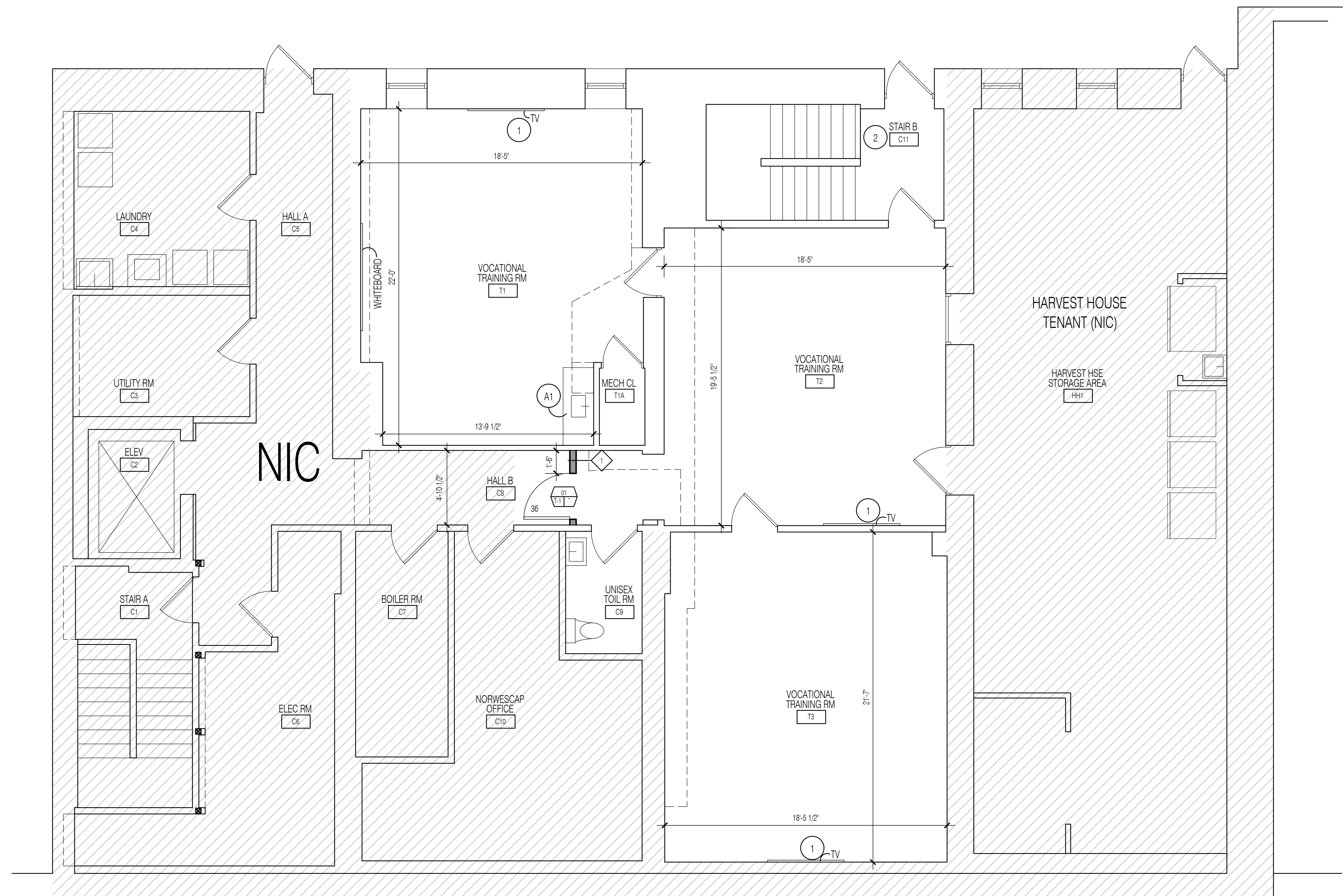
- A1** AT VOCATIONAL TRAINING RM. T1, PROVIDE PRICE TO PROVIDE NEW MILLWORK CABINET AND COUNTERTOP. COORDINATE FINISH MATERIAL WITH OWNER.

KEY NOTES:

- 1** NEW TV AND MOUNTING BRACKET PROVIDED BY OWNER AND INSTALLED BY GC. SEE A10.00 FOR DETAILS
- 2** IN STAIRWELL B, PROVIDE CYPHER LOCKS ON EXISTING 1ST FLOOR, SECOND FLOOR, AND THIRD FLOOR DOORS

GENERAL NOTES:

1. REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
2. REVIEW ALL DRAWINGS IN THIS SET AND COORDINATE ALL WORK AS REQUIRED INCLUDING BUT NOT LIMITED TO A2.00-1 DEMO PLAN, A3.00 REFLECTED CEILING PLAN, A10.00 REFERENCE FURNITURE AND OUTLET PLAN AND A11.00 FINISH PLAN
3. ALL MECHANICAL, PLUMBING, SPRINKLERS, FIRE ALARMS TO BE PROVIDED ON A DESIGN BUILD BASIS BY THE CLIENT & THEIR CONTRACTORS. CONTRACTOR SHALL PROVIDE ALL NECESSARY DRAWINGS AND INFORMATION AS REQUIRED BY LOCAL OFFICIALS IF DEEMED NECESSARY.



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Drawing Description:
PROPOSED BASEMENT PLAN

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SHEET **A2.00**

1 PROPOSED BASEMENT PLAN

SCALE: 1/4" = 1'-0" (IF 11 X17 NOT TO SCALE)

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LEGEND:

- DASHED LINE INDICATES EXISTING TO BE REMOVED
- ===== EXISTING WALL TO REMAIN
- - - - - EXISTING WALL TO BE REMOVED
- ⌒----- EXISTING DOOR TO BE REMOVED
- ⌒----- EXISTING DOOR TO REMAIN
- # KEY NOTE TAG

DEMOLITION KEY NOTES:

- 1 DO NOT DEMO DOOR. EXISTING DOOR IS TO REMAIN CLOSED AND LOCKED. SEE A2.00 FOR DETAILS.
- 2 DEMO EXISTING DOOR AND PORTION OF ADJACENT WALL AS SHOWN ON PLAN. KEEP GYP BOARD SOFFIT AT CEILING (7'-0" AFF).
- 3 DEMO EXISTING VESTIBULE WALL. SEE A11.00 FOR EXTENT OF FINISH WORK IN THIS AREA.

GENERAL DEMOLITION NOTES:

1. COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
2. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
3. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
4. ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND STUB OFF. NOTIFY THE AFFECTED UTILITY CO. AND BLDG. MGR. IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THIS WORK.
5. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
6. COORDINATE WITH OWNER ALL ITEMS REQUIRED FOR SALVAGING PRIOR TO DEMOLITION.
7. HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION, AND DETERMINE WHETHER ANY COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO E.P.A. STANDARDS) PRIOR TO DEMOLITION.
8. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
9. PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARD RAILS AS REQ'D BY APPLICABLE REGULATORY ADVISORY TO PROTECT OCCUPANTS OF BLDG., WORKERS, AND PEDESTRIANS.
10. MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES DURING DEMOLITION.
11. DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE FUTURE NEW WORK. PROTECT EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS.
12. PROTECT ALL EXISTING PROPERTY SUCH AS FINISHES, FURNITURE, APPLIANCES ETC AS NECESSARY DURING CONSTRUCTION. COORDINATE WITH OWNER THE EXTENT AND METHOD TO BE USED.
13. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE, ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE, OR INJURY.
14. CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
15. DEMOLITION OF ITEMS ABOVE CEILING SHALL BE COORDINATED W/ FUTURE WORK. DO NOT REMOVE ANY ITEMS UNLESS INSTRUCTED BY OWNER & HAS BEEN DETERMINED TO BE NOT REQUIRED.
16. EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED, IMMEDIATELY REMOVE FROM SITE.
17. ANY ITEMS UNWANTED BY OWNER TO BE DISCARDED BY CONTRACTOR.
18. REMOVE WASTE MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE IN A CONDITION ACCEPTABLE TO THE ARCHITECT OR PROJECT MANAGER.

PROJECT

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37 MAIN ST
SUSSEX, NJ 07461

OWNER/APPLICANT:



NORWESCAP

ARCHITECT:

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Drawing Description: DEMOLITION PLAN

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SHEET A2.00-1

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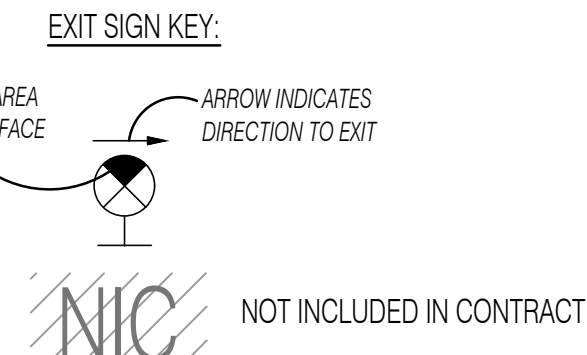
LEGEND:

ALL FIXTURES ARE EXISTING UNLESS NOTED AS FOLLOWS:

R - INDICATES EXISTING FIXTURE RELOCATED
 N - INDICATES NEW FIXTURE TO MATCH EXISTING TYPE

- EXISTING 2x4 PRISMATIC LIGHT FIXTURE
- EXISTING 2x4 LED FLAT PANEL LIGHT FIXTURE
- NEW 2x2 LED FLAT PANEL TO MATCH EXISTING LED FLAT PANEL FIXTURES
- EXISTING RECESSED LIGHT FIXTURE
- NEW RECESSED LIGHT FIXTURE
- EXISTING WALL MOUNTED LIGHT FIXTURE

- WALL MOUNTED EMERGENCY LIGHT
- EM. LIGHTS/EXIT SIGN COMBO - CEILING MTD
- WALL MOUNTED EMERGENCY LIGHT
- CEILING MOUNTED EXIT SIGN
- WALL MOUNTED EXIT SIGN
- SPEAKER
- SMOKE DETECTOR



ALT. BID KEY NOTES:

- A1 PROVIDE PRICE TO REPLACE ALL EXISTING PRISMATIC LIGHT FIXTURES WITH NEW FLAT PANEL LED FIXTURES
- A2 PROVIDE PRICE TO REPLACE ALL EXISTING CEILING TILES WITH NEW TILES. USE ARMSTRONG CIRRUS WHITE FOR BASIS OF BID.

KEY NOTES:

- 1 AT VOCATION RM T1, REPLACE AREAS OF DAMAGED GP BOARD CEILING WITH NEW GYP. BD. PAINT TO MATCH ADJACENT GYP BD CEILING.
- 2 AT WALL WHERE DOOR WAS DEMOLISHED, KEEP GYP. B.D SOFFIT AT 7'-0" AFF
- 3 WHERE VESTIBULE IS DEMOLISHED, REPLACE EXISTING CLG GRID AND TILES WITH NEW GRID AND TILES TO MATCH. ALIGN WITH ADJACENT GRID. RELOCATE EXITING LIGHT FIXTURE AS SHOWN ON THIS PLAN.

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- 1. REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
- 2. REVIEW ALL DRAWINGS IN THIS SET AND COORDINATE ALL WORK AS REQUIRED INCLUDING BUT NOT LIMITED TO A2.03-1 DEMO PLAN AND A2.03 CONSTRUCTION PLAN.
- 3. ALL MECHANICAL, PLUMBING, SPRINKLERS, FIRE ALARMS TO BE PROVIDED ON A DESIGN BUILD BY THE CLIENT & THEIR CONTRACTORS. CONTRACTOR SHALL PROVIDE ALL NECESSARY DRAWINGS AND INFORMATION REQUIRED BY LOCAL OFFICIALS IF DEEMED NECESSARY.
- 4. UNLESS OTHERWISE NOTED ALL FIXTURES ARE EXISTING TO REMAIN.
- 5. PROVIDE EMERGENCY SIGNS & EM EXIT LIGHTS WHERE INDICATED ON PLAN. PROVIDE ADDITIONAL EXIT SIGNS & EM EXIT LIGHTS AS REQUIRED BY LOCAL OFFICIAL.
- 6. MAINTAIN ALL EXISTING FIRE ALARM NOTIFICATION DEVICES. IF ANY EXISTING DEVICES ARE NOT SHOWN RELOCATED, THE DEVICE SHALL BE RELOCATED TO ADJACENT AREA. NOTIFY ARCHITECT FOR APPROVAL OF RELOCATED LOCATION.
- 7. WHERE EXISTING WALLS WERE DEMOLISHED, PROVIDE NEW CLG TILE /GRID TO MATCH EXISTING.

PROJECT

Norwescap C4E Tenant Interior Remodeling Project

PROJECT LOCATION:
 BLOCK 703 LOT 6
 37 MAIN ST
 SUSSEX, NJ 07461

OWNER/APPLICANT:



ARCHITECT:
BEN HORTEN
 architecture & design
 312 State Route 10, Randolph, NJ 07869
 Tel: 973.442.5880 Fax: 973.442.5886

ISSUES & REVISIONS

No.	Date	Issues and Revisions	By	Check
1.	04/18/24	ISSUE FOR PERMIT	CG	BH

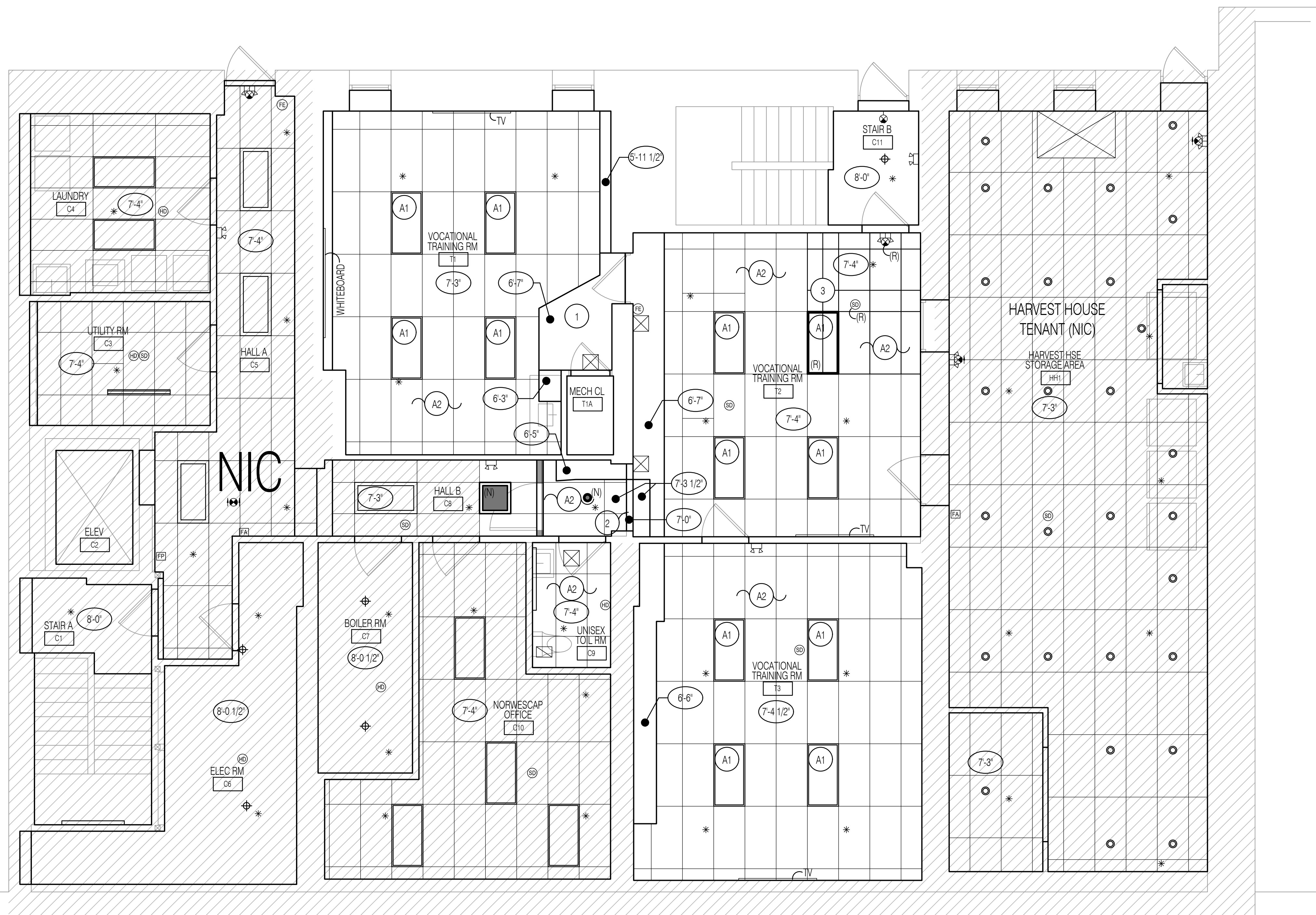
REGISTRATION & SIGNATURE

Benjamin J. Horten NJ Licence No: 21A1 01579400
 Drawing Description:
 PROPOSED REFLECTED CEILING PLAN

Computer File:
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SHEET
A3.00

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1 PROPOSED REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0" (IF 11 X17 NOT TO SCALE)

Norwescap C4E Tenant Interior Remodeling Project

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37 MAIN ST
SUSSEX, NJ 07461

OWNER/APPLICANT:

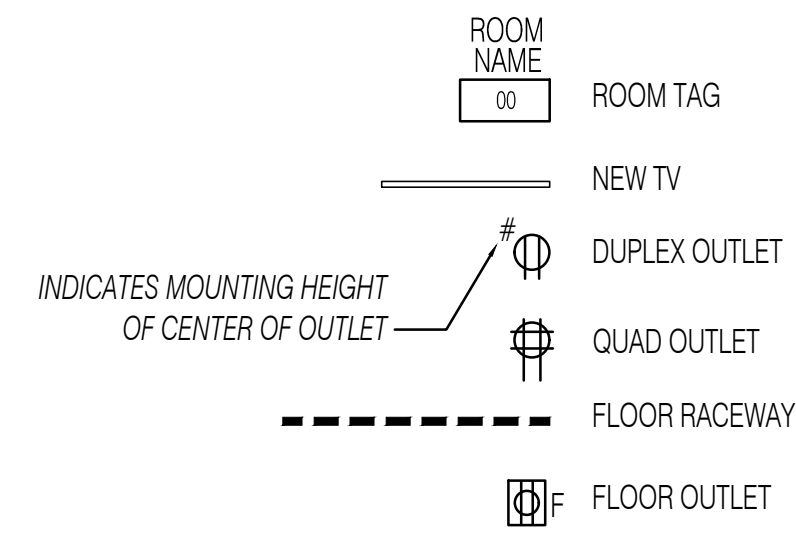


NORWESCAP

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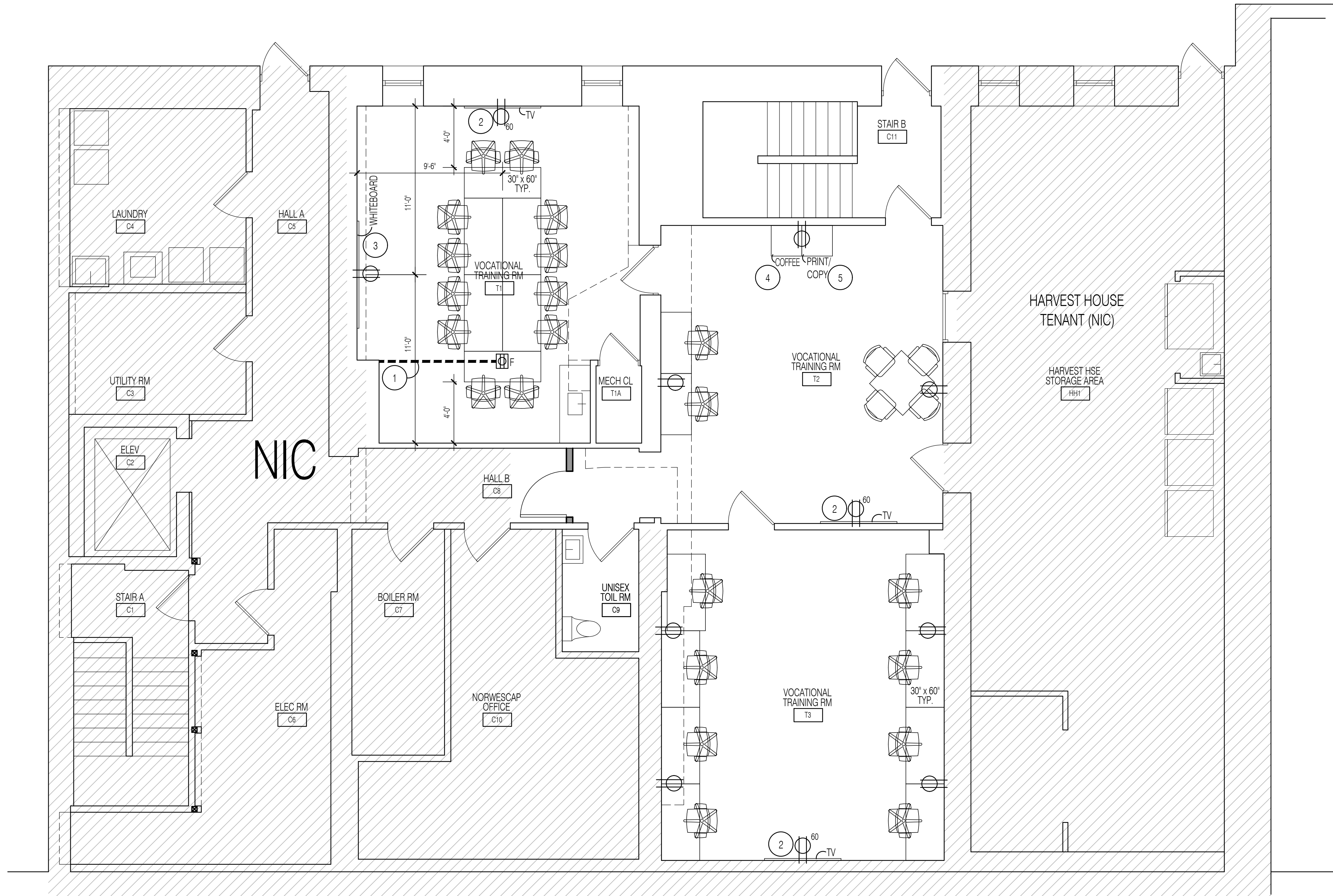


KEY NOTES:

- 1 GC TO PROVIDE AND INSTALL FLUSH FLOOR MOUNTED DUPLEX AT TABLE VIA LOW PROFILE FLOOR RACEWAY FROM WALL. COORDINATE EXACT LOCATION IN FIELD WITH OWNER AND OWNER'S FURNITURE REP.
- 2 GC TO INSTALL OWNER PROVIDED TV AND MOUNTING BRACKET. GC TO PROVIDE BLOCKING AS REQUIRED.
- 3 GC TO INSTALL OWNER PROVIDED WHITEBOARD. GC TO PROVIDE BLOCKING AS REQUIRED.
- 4 GC TO INSTALL OWNER PROVIDED COFFEE MACHINE. PROVIDE POWER AND WATER SUPPLY IF REQUIRED. COORDINATE SPECS WITH OWNER.
- 5 PRINT/COPY MACHINE PROVIDED BY OWNER. GC TO PROVIDE POWER IF NO OUTLET IS NEAR BY

GENERAL NOTES:

- 1. REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
- 2. ALL FURNITURE SHOWN ON PLAN IS FOR REFERENCE ONLY. FINAL SELECTIONS TO BE MADE BY CLIENT
- 3. ALL OUTLETS SHOWN ON THIS PLAN ARE NEW. IF EXISTING OUTLETS ARE LOCATED WHERE NEW IS SHOWN, THEN A NEW OUTLET IS NOT REQUIRED. COORDINATE FINAL NEW OUTLET COUNT AND THEIR EXACT LOCATIONS WITH OWNER PRIOR TO BID.



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 Drawing Description: FURNITURE PLAN

Computer File:
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 CD\A10.00.dwg

LEGEND

EXISTING WALL
 NEW WALL
 EXISTING DOOR
 NEW SWING DOOR
 ROOM TAG
 KEY NOTE
 WALLBASE
 WALL PAINT
 LVT FLOOR
 NIC NOT INCLUDED IN CONTRACT

ALT. BID NOTES:

(A1) REPLACE EXISTING DOOR KICK PLATES WITH NEW. COORDINATE FINAL TYPE AND QUANTITY WITH OWNER

KEY NOTES:

(1) PROVIDE NEW LVT TILE AND RUBBER WALL BASE THROUGHOUT. LVT FLOOR PATTERN SHOWN ON THIS PLAN IS FOR REFERENCE ONLY. COORDINATE FINAL FLOOR PATTERN AND DIRECTION OF PLANK TILES WITH OWNER.

LVT
 Manufacturer: Interface
 Style: Criterion Classic Woodgrains (WOOD PLANK LOOK)
 Color: Washed Maple C00104 (TBD)
 Size: 12.5cm x 1m X 3mm thick

WALLBASE
 Manufacturer: Johnsonite
 Collection: Perceptions
 Style: Recess
 Color: TA9 Indigo
 Size: 4.25"

GENERAL NOTES:

- REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
- THIS PLAN IS FOR REFERENCE ONLY. REFER TO A2 SERIES DWG FOR CONSTRUCTION DETAILS.
- IN ALL AREAS, FLOOR COVERING SHALL COMPLY WITH THE DOC FF-1 "PILL TEST" (CPSC 16 CFR, PART 1630).
- REFER TO NCSBC: BUILDING CODE TABLE 803.11 FOR ALL INTERIOR WALL AND CEILING FINISH REQUIREMENTS. - WALL & CEILING IN INDIVIDUAL ROOM TO BE MIN. CLASS C
- ALL NEW WALLS TO RECEIVE ONE COAT OF PRIMER & TWO COATS OF FINISH PAINT ON BOTH SIDES. WALLS FINISH PAINT TO BE EGSHELL FINISH.
- TOUCH UP PAINT: EXISTING WALLS IN AREA OF WORK TO RECEIVE ONE COAT OF FINISH PAINT -P1- TO COVER BLEMISHES, MARKS, ETC. OWNER TO PROVIDE MATCHING PAINT. COORDINATE AREAS TO BE PAINTED W/OWNER
- WHERE NEW WALLS ARE MADE AND EXISTING WALLS ARE REMOVED, PATCH AND PAINT ADJACENT WALLS SUCH THAT NEW AREAS OF WORK BLEND AND MATCH EXISTING WALLS.
- PROVIDE ADA COMPLIANT FLOOR TRANSITION WHERE DISSIMILAR FLOORING MEETS. TRANSITION STRIP TO BE BY SCHLUTER OR APPROVED EQUAL.
- GC TO COORDINATE SURFACE PREP REQUIREMENTS INCLUDING UNDERLAYMENT PER FINISH MATERIALS SPECIFICATIONS.
- ALL NEW AND EXISTING FINISHES IN PROJECT AREA ARE TO BE CLEANED PRIOR TO OCCUPANCY.
- ALL FINISHES NOTED ARE FOR BIDDING PURPOSES ONLY. FINAL FINISHES TO BE APPROVED BY CLIENT. G.C. TO PROVIDE SAMPLES TO CLIENT FOR APPROVAL PRIOR TO ORDERING.



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 Drawing Description: FINISH PLAN

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Norwescap C4E Tenant Interior Remodeling Project

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OWNER/APPLICANT:



NORWESCAP

ARCHITECT:

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architecture & design

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LEGEND

EXISTING WALL	EXISTING DOOR	WALLBASE
NEW WALL	NEW SWING DOOR	WALL PAINT
ROOM TAG	KEY NOTE	LVT FLOOR

NIC NOT INCLUDED IN CONTRACT

ALT. BID NOTES:

(A1) REPLACE EXISTING DOOR KICK PLATES WITH NEW. COORDINATE FINAL TYPE AND QUANTITY WITH OWNER

KEY NOTES:

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A11.00-V2

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