



## 1 GENERAL NOTES

- THE DRAWINGS AND THE SPECIFICATIONS ARE COMPLEMENTARY AND THEIR INTENT IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK
- THE ORGANIZATION OF THE SPECIFICATIONS AND THE DRAWINGS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG THE SUB-CONTRACTORS, OR IN ESTABLISHING THE WORK PERFORMED BY ANY TRADE
- ALL WORK SHALL CONFORM TO CODES, ORDINANCES, RULES AND REGULATIONS OF ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AGENCY HAVING JURISDICTION. THE RULES AND REGULATIONS OF OTHER FEDERAL STATE AGENCIES SHALL APPLY TO THIS PROJECT
- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS. FOR PURPOSES OF THIS PROJECT, CONTRACT DOCUMENTS SHALL INCLUDE THE OWNER/CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH CONTAINS THE GENERAL AND SUPPLEMENTARY CONDITIONS AND THE SPECIFICATIONS), THE DRAWINGS, AND ALL ADDENDA AND REVISIONS ISSUED BY THE ARCHITECT.
- THE CONTRACTOR SHALL OBTAIN AND PAY ALL FEES FOR BUILDING DEPARTMENT APPROVALS AND PERMITS, CONTROLLED INSPECTIONS, APPROVALS AND PERMITS OF OTHER AGENCIES (WHEN REQUIRED) AND FINAL WRITE-OFFS FOR PROJECT COMPLETION. RECORD COPIES OF ALL AGENCY PERMITS SHALL BE FORWARDED TO THE ARCHITECT PRIOR TO REQUEST FOR FINAL PAYMENT.
- CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS, VERIFY ALL DIMENSIONS AND FIELD CONDITIONS, AND CONFIRM THAT THE WORK IS BUILDABLE AS SHOWN. ANY DISCREPANCIES OR OMISSIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO COMMENCEMENT OF THE WORK.
- CONTRACTOR SHALL VERIFY DIMENSIONS AND, TO THE EXTENT POSSIBLE, VERIFY FIELD CONDITIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
- IF DOCUMENTS ARE AT VARIANCE WITH ONE ANOTHER ON A PARTICULAR ITEM OR ITEMS, CONTRACTOR SHALL BACK HIS BID ON THE BETTER QUALITY OR MORE EXTENSIVE OF THE CONDITIONS SHOWN. ITEMS OR EQUIPMENT SPECIFIED UNDER ONE TRADE SHALL BE BIDDING AS IF SPECIFIED UNDER ALL RELATED TRADES.
- IN THE EVENT OF A DISCREPANCY BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS OR SPECIFICATIONS, CONTRACTOR SHALL BRING ALL SUCH DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATIONS PRIOR TO COMMENCEMENT OF THE WORK.
- UPON REWARD OF THE CONTRACT FOR CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY REVIEW AND COORDINATE THE SCHEDULING OF CONSTRUCTION WITHIN (10) DAYS OF RECEIVING AWARD OF CONTRACT OF THE CONTRACTOR SHALL SUBMIT A DETAILED PROJECT SCHEDULE INCORPORATING THE WORK OF THE CONTRACTOR AND ITS RESPECTIVE SUBCONTRACTORS, AS WELL AS WORK BY OTHERS.

- WORK SHALL BE PERFORMED DURING REGULAR BUSINESS HOURS WHENEVER POSSIBLE. WORK INVOLVING EXCESSIVE NOISE, DUST OR DRAINAGE/RISKS TO THE PUBLIC SHALL BE SCHEDULED TO OCCUR OUTSIDE THE NORMAL OFFICE HOURS OF THE FACILITY OR ITS TENANTS SHALL BE DONE ON AN OVERTIME, NON-BUSINESS HOURS BASIS. SUCH WORK SHALL BE IDENTIFIED IN THE CONTRACTORS BID AND SHALL BE COORDINATED WITH BUILDING MANAGEMENT.
- THE CONTRACTOR SHALL COORDINATE ALL WORK BETWEEN SUBCONTRACTORS, AND SHALL COORDINATE WITH TENANT WORK TO BE PROVIDED BY TENANT SUBCONTRACTORS. TENANT SHALL NOTIFY THE CONTRACTOR PRIOR TO COMMENCEMENT OF THE WORK, OF ANY TENANT SUPPLIED WORK FOR WHICH COORDINATION IS REQUIRED.
- THE CONTRACTOR SHALL COORDINATE WITH THE TELEPHONE AND COMMUNICATIONS INSTALLATION COMPANY AND THE TENANT FOR ALL TELEPHONE AND COMMUNICATIONS INSTALLATION WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING OF TELEPHONE AND COMMUNICATIONS INSTALLATION WITH HIS WORK.
- DO NOT SCALE DRAWINGS. ANY CLARIFICATIONS OR INFORMATION REQUIRED BY THE CONTRACTOR SHALL BE FURNISHED, UPON WRITTEN REQUEST, BY THE ARCHITECT.
- THE CONTRACTOR SHALL VERIFY THAT CONTRACT DOCUMENTS ARE THE LATEST ISSUE PRIOR TO COMMENCEMENT OF WORK.
- ALL WORK SHALL BE PERFORMED TO THE HIGHEST LEVELS OF CRAFTSMANSHIP BY QUALIFIED TECHNICIANS AND MECHANICS.
- THE CONTRACTOR SHALL NOT PROCEED WITH WORK FOR WHICH IT EXPECTS ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT AND/OR TENANT. FAILURE TO OBTAIN SUCH AUTHORIZATION MAY INVALENTE A CLAIM FOR ADDITIONAL COMPENSATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO ADEQUATELY BRACE AND PROTECT WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION AND MISALIGNMENT IN CONFORMANCE WITH APPLICABLE CODES, STANDARDS, AND GOOD PRACTICE. EXECUTION OF THE WORK SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING.
- CONTRACTOR SHALL COORDINATE WORK WITH REQUIREMENTS OF THE BUILDING MANAGEMENT INCLUDING BUT NOT LIMITED TO SCHEDULING TIME AND LOCATION OF DELIVERIES, BUILDING ACCESS, WORKER PARKING, USE OF BUILDING FACILITIES, TEMPORARY UTILITIES, USE AND CLEARANCE OF BUILDING ELEVATORS, PROTECTION, REFUSE CONTAINERS, ETC.
- THE CONTRACTOR SHALL MAINTAIN ALL EXITS, EXIT AND EMERGENCY LIGHTING, FIRE AND LIFE SAFETY DEVICES AND ALARMS AS REQUIRED BY LOCAL CODES, OR AS MAY BE REQUIRED BY THE BUILDING OFFICIAL. THE CONTRACTOR SHALL ENSURE THAT THE PERFORMANCE OF ANY WORK WILL NOT JEOPARDIZE THE SAFE, UNINTERRUPTED PROVISION OF MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND LIFE SAFETY SYSTEMS TO ADJACENT TENANT AREAS.
- THE CONTRACTOR SHALL INCLUDE IN HIS BID AND SHALL ARRANGE FOR ALL HOSTING, CARRYING, ELEVATOR SERVICE AND ALL CHARGES BY THE BUILDING MANAGEMENT.
- REQUESTS FOR SUBSTITUTIONS OF SPECIFIED ITEMS SHALL BE SUBMITTED TO THE ARCHITECT, IN WRITING WITHIN (10) WORKING DAYS OF THE AWARD OF THE CONTRACT FOR CONSTRUCTION. SUBSTITUTIONS WILL ONLY BE CONSIDERED IF THEY PROVIDE BETTER SERVICE, HAVE A MORE ADVANTAGEOUS DELIVERY DATE, OR HAVE A LOWER PRICE REFLECTED IN COST SAVINGS TO THE TENANT, AND WILL NOT SACRIFICE QUALITY, APPEARANCE, OR FUNCTION. THE ARCHITECT SHALL NOT BE REQUIRED TO PROVIDE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OF EQUAL QUALITY TO THE SPECIFIED PRODUCT.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING, AND SHALL RECEIVE APPROVAL BEFORE ORDERING OR INSTALLING ITEMS OR MATERIALS WHICH ARE PROPOSED EQUALS. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED WITH BID PROPOSAL, WITH ADD OR DEDUCT PRICING FROM THE ITEM OR SYSTEM SPECIFIED IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PROTECT THE BUILDING PREMISES AND ALL OCCUPANTS ON THE PROJECT SITE. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY TEMPORARY COVERINGS AND PROTECTION, TEMPORARY PARTITIONS, AND DOORS AS REQUIRED TO PROTECT EXISTING CONSTRUCTION TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES CAUSED BY IMPROPER PROTECTION, AND SHALL MAKE ALL NECESSARY REPAIRS AND REPLACEMENTS WITHOUT ADDITIONAL CHARGE TO THE TENANT, OR TO PARTIES AFFECTED.
- ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED BY CODES AND ORDINANCES OR AS MAY BE DIRECTED BY THE BUILDING OFFICIAL, TO PREVENT SPREAD OF DUST, FLAMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. UPON COMPLETION OF THE WORK REMOVE TEMPORARY PARTITIONS AND REPAIR DAMAGED SURFACES AS REQUIRED.

- PROVIDE TEMPORARY PARTITIONS AS REQUIRED TO SERVICE WORK AREA AND ALLOW SAFE, UNINTERRUPTED OCCUPANCY BY BUILDING TENANTS. WORK AREAS ARE TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY. THE CONTRACTOR SHALL SECURE AND LOCK THE WORK AREA AND TENANT SPACE AT THE END OF EACH WORKING DAY AND SHALL NOT PERMIT UNAUTHORIZED PERSONNEL TO CIRCULATE IN THE WORK AREA AND TENANT SPACE. CONTRACTOR SHALL PROVIDE TEMPORARY KEYS TO A TENANT REPRESENTATIVE.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR COORDINATION OF ALL PORTIONS OF THE WORK.
- THE CONTRACTOR SHALL PROVIDE A FULL TIME SUPERINTENDENT AT THE JOBSITE WHO IS FURNISHED WITH A LOCKED OFFICE AREA EQUIPPED WITH TELEPHONE SERVICE, FILES AND WORKSPACE FOR DRAWINGS, SPECIFICATIONS AND SAMPLES. STORAGE. THE CONTRACTOR SHALL PROVIDE HARD HATS AS REQUIRED FOR USE BY DESIGNATED TENANT FIELD REPRESENTATIVES, THE ARCHITECT, AND THEIR GUESTS.

- DURING THE ENTIRE PERIOD OF THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL BE REPRESENTED AT THE JOBSITE BY A QUALIFIED SUPERINTENDENT WHO SHALL BE EMPOWERED TO ACT ON HIS BEHALF, AND WHO SHALL BE RESPONSIBLE FOR:
  - MANAGEMENT OF ALL ASPECTS OF THE WORK INCLUDING PERIODIC MEETINGS TO REVIEW JOB PROGRESS
  - ESTABLISH AND MAINTAIN PROPER AND SAFE WORKING CONDITIONS AT THE JOBSITE
  - TRANSMIT ALL OF ALL INSTRUCTIONS ISSUED BY THE ARCHITECT, TENANT AND LANDLORD
  - COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
  - COMPLETE COORDINATION OF ALL ELEMENTS OF THE WORK.
  - CHECKING WORK IN PLACE FOR CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL HAVE A DULY AUTHORIZED REPRESENTATIVE PRESENT AT THE JOBSITE TO BE RESPONSIBLE FOR RECEIVING ALL MATERIAL DELIVERED IN CONNECTION WITH THE WORK. THE LANDLORD AND THE BUILDING MANAGEMENT WILL HAVE NO RESPONSIBILITY FOR SUCH DELIVERIES, AND WILL NOT ACCEPT THEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WAREHOUSING OF ALL MATERIALS TO BE INSTALLED UNDER THIS CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECEIVING, PROTECTING, OWNER OR TENANT FURNISHED ITEMS, AND SHALL PROVIDE AND MAINTAIN LOCKED STORAGE ROOMS AT BUILDING PREMISES FOR THE FOLLOWING ITEMS WHEN REQUIRED: COMMUNICATIONS EQUIPMENT, CARPETING, FURNITURE, DECORATIVE ITEMS SUCH AS BLINDS, DRAPERIES, ETC.
- THE CONTRACTOR SHALL DO ALL CUTTING, FITTING AND PATCHING REQUIRED TO COORDINATE THE INSTALLATION OF ITS WORK, THE WORK OF ITS SUBCONTRACTORS, AND THE WORK OF TENANT SPECIALTY CONTRACTORS AND VENDORS.
- THE CONTRACTOR SHALL ESTABLISH A BENCHMARK @ 4'-0" ABOVE FINISH FLOOR FOR USE AS A DATUM LINE BY ALL TRADES FOR VERTICAL DIMENSIONS.
- THE CONTRACTOR SHALL PATCH ALL HOLES AND CHASES, BOTH ABOVE AND BELOW CEILINGS, CREATED BY THE REMOVAL OR INSTALLATION OF DUCTS, PIPES, CONDUITS, CEILING, ETC. PATCH CONSTRUCTION TO MATCH EXISTING AS REQUIRED, AND MAINTAIN THE FIRE RESISTANCE RATING OF FIRE SEPARATION ASSEMBLIES.
- SPACES ABOVE PIPES, DUCTS, AND CONDUITS PENETRATING FIRE RATED PARTITIONS SHALL BE FIRESTOPPED IN CONFORMANCE WITH APPLICABLE CODES.
- THE CONTRACTOR SHALL REPAIR OR RESTORE ALL FIRE PROOFING FOR ALL STRUCTURAL STEEL, BEAMS, GIRDERS AND COLUMNS WHOSE FIREPROOFING MAY HAVE BEEN DAMAGED BY PERFORMANCE OF THE WORK, OR BY A PREVIOUS TENANT OCCUPANCY. FIREPROOFINGS SHALL MATCH ADJACENT EXISTING FIREPROOFINGS UNLESS OTHERWISE SPECIFIED, AND IN WHICH CASE THE TENANT, LANDLORD AND THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION PREMISES IN A NEAT AND ORDERLY CONDITION AT ALL TIMES AND SHALL KEEP THE JOBSITE FREE OF ALL UNNECESSARY TRASH AND DEBRIS. THE JOBSITE SHALL BE BROOM CLEANED AT THE END OF EACH WORKING DAY.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SUBMITTALS TO THE ARCHITECT PRIOR TO FABRICATION AND ORDERING, AND SHALL INFORM THE ARCHITECT IN WRITING AT TIME OF SUBMISSION OF ANY PROPOSED DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

- UNLESS OTHERWISE NOTED, SHOP DRAWINGS SHALL INCLUDE (1) ONE REPROducible AND (3) THREE PRINTS. SUBMITTALS SHALL INCLUDE (1) THREE COPIES OF PRODUCT DATA AND/OR (3) THREE SAMPLES. MAKE SUBMITTALS FAR ENOUGH IN ADVANCE OF SCHEDULED DATES TO ALLOW THE ARCHITECT TO REVIEW AND APPROVE BEFORE ORDERING AND SECURING DELIVERY. ALLOW AT LEAST (7) SEVEN WORKING DAYS FOR REVIEW BY THE ARCHITECT FOLLOWING RECEIPT OF THE SUBMITTAL, EXCLUSIVE OF MAILING TIME.
- RELAP EXISTING FIXTURES WHERE NECESSARY TO MATCH NEW LAMPS.
- LINEAR OFFUSERS CROSSING PARTITIONS SHALL BE SOUND INSULATED AND SEALED TO PREVENT LIGHT LEAKS.

- THE CONTRACTOR SHALL REVIEW REQUIRED SHOP DRAWINGS AND SUBMITTALS PRIOR TO SUBMISSION TO THE ARCHITECT, AND SHALL INDICATE ON THE SHOP DRAWING OR SUBMITTAL THAT SUCH REVIEW HAS TAKEN PLACE. THE ARCHITECT WILL NOT REVIEW SHOP DRAWINGS OR SUBMITTALS THAT DO NOT BEAR A SIGNED CONTRACTOR REVIEW STATEMENT. BY REVIEWING AND SUBMITTING SHOP DRAWINGS AND SUBMITTALS, THE CONTRACTOR REPRESENTS THAT HE HAS DETERMINED AND VERIFIED FIELD MEASUREMENTS, FIELD CONSTRUCTION CRITERIA, MATERIALS, CATALOG NUMBERS AND SIMILAR DATA, AND THAT EACH SHOP DRAWING AND SUBMITTAL HAS BEEN CHECKED AND COORDINATED WITH THE REQUIREMENTS OF THE CONTRACT.
- ARCHITECTS REVIEWS OF SHOP DRAWINGS AND SUBMITTALS SHALL BE FOR CONFORMANCE WITH THE DESIGN CONCEPT ONLY. ARCHITECTS REVIEW SHALL NOT BE CONSTRUED AS APPROVING DEPARTURES FROM CONTRACT REQUIREMENTS, NOR SHALL IT BE CONSTRUED AS APPROVING ANY CHANGES IN PRICING.
- REJECTED SUBMITTALS SHALL BE RESUBMITTED AS SOON AS POSSIBLE, AND SHALL BE IDENTIFIED AS RESUBMITTED.
- CONTRACTOR SHALL SUBMIT OPERATIONAL INSTRUCTIONS, MAINTENANCE MANUALS, AND MANUFACTURERS WRITTEN WARRANTIES FOR ALL CONTRACTOR PROVIDED EQUIPMENT TO TENANT REPRESENTATIVE PRIOR TO REQUEST FOR FINAL PAYMENT. CONTRACTOR SHALL PROVIDE, OR SHALL ARRANGE FOR, ANY SPECIALIZED OPERATIONAL OR MAINTENANCE TRAINING.
- JUST PRIOR TO TENANT OCCUPANCY, CONTRACTOR SHALL CLEAN ALL SURFACES, REMOVE TEMPORARY LABELS, CLEAN FINISHED SURFACES OF STAINS AND FOREIGN MATTER, CLEAN WINDOWS AND WINDOW TREATMENTS, AND VACUUM THE INSIDES OF CONVEXOR COVERS, POLISH TRANSPARENT AND GLOSSY SURFACES, CLEAN ALL EQUIPMENT AND FUTURES, AND REPLACE FILTERS ON MECHANICAL EQUIPMENT. REMAINING CONSTRUCTION MATERIAL AND EQUIPMENT, IF ANY, SHALL BE MOVED AND TEMPORARILY SECURED IN AN AREA AS DIRECTED BY THE OWNER.
- STORAGE OF FLAMMABLE AND COMBUSTIBLE MATERIALS ON SITE SHALL BE LIMITED TO A WORKING DAYS SUPPLY.
- CONTRACTORS SHALL UTILIZE PERMIT-TO-WORK PROGRAMS FOR HAZARDOUS WORK (I.E. CUTTING & WELDING, PIPE BREAKING, WORK AT HEIGHTS, ETC.) CONDUCTED ON THE SITE AND COORDINATE THESE PROCEDURES WITH THE LIFTUP PROJECT MANAGER.

## 2 CONSTRUCTION NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS AND TYPES, ALL DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT, PARTITION PLAN BY ARCHITECT SUPERSEDES OTHER PLANS.
- ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH-FACE. UNLESS OTHERWISE NOTED, ALL DIMENSIONS MARKED CLEAR SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, CERAMIC TILE, V.CT, ETC.
- DIMENSIONS LOCATING DOORS BY EDGE ARE TO THE INSIDE EDGE OF JAMB, UNLESS OTHERWISE NOTED.
- PARTITIONS AT BUILDING PERIMETER SHALL BE CENTERED ON CENTER LINE OF COLUMN OR WINDOW MULLION, UNLESS OTHERWISE NOTED.
- COLUMN CENTER LINES (OR GRID LINES) ARE SHOWN FOR DIMENSIONING. VERIFY EXACT LOCATIONS IN FIELD.
- CONTRACTOR SHALL MARK LOCATIONS OF PARTITIONS AND DOORS ON WORK WITH PAINT FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION. REVIEW WILL BE FOR DESIGN INTENT, CONTRACTOR SHALL COORDINATE AND VERIFY ALL CONDITIONS TO ENSURE PROPER FIT.

## 3 FIRE DEPT. RELATED NOTES

- LOCATED FIRE EXTINGUISHERS AND CABINETS AS INDICATED ON THE PLANS AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR.
- ALL FIRE EXTINGUISHERS AND CABINETS TO MATCH EXISTING. PROVIDE SEMI-RECESSED CABINETS WHERE WALL IS NOT THICK ENOUGH TO RECEIVE FULLY RECESSED CABINETS.
- PROVIDE EXIT SIGN WITH 6 LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS, AND ADDITIONAL SIGN AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR OR FIRE DEPARTMENT FIELD INSPECTOR; CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS, COMPLY WITH BUILDING CODES.
- PROVIDE EMERGENCY LIGHTING OF ONE FOOT CANDELA AT FLOOR LEVEL, COMPLY WITH BUILDING CODES.
- MAINTAIN AISLES AT LEAST 4' WIDE AT PUBLIC AREAS.
- EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. ALL NEW DOORS SHALL HAVE APPROVED LEVER HANDLES.
- DOORS OPENING INTO REQUIRED 1-HOUR, FIRE-RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SMOKE OR DRAFT STOP ASSEMBLY HAVING A 20-MINUTE RATING AND SHALL BE SELF-CLOSING.
- FIRE RATED DOOR JAMBS TO BE TIGHT-FITTING, SMOKE AND DRAFT CONTROLLED.
- EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING 50 OR MORE PERSONS AND IN ANY HAZARDOUS AREA.
- INTERIOR WALL AND CEILING FINISHES FOR EXIT CORRIDOR SHALL NOT EXCEED AN END POINT FLAME SPREAD RATING:
  - CLASS I FLAME SPREAD 0-20, SMOKE DENSITY 150, FOR MATERIALS INSTALLED IN VERTICAL EXITS
  - CLASS II FLAME SPREAD 20-75, SMOKE DENSITY 200, FOR MATERIALS INSTALLED IN HORIZONTAL EXITS
  - CLASS III FLAME SPREAD 76-200, SMOKE DENSITY 400, FOR MATERIALS INSTALLED IN ANY OTHER LOCATIONS.
- DECORATIONS (CURTAINS, DRAPES, SHADES, HANGINGS, ETC) SHALL BE NON-COMBUSTIBLE OR BE FLAME PROOFED IN AN APPROVED MANNER.
- PROVIDE FIRE DAMPERS OR DOORS WHERE AIR DUCTS PENETRATE FIRE-RATED WALLS OR CEILINGS.
- STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS AND HAZARDOUS SUBSTANCES SHALL COMPLY WITH UNIFORM FIRE CODE REGULATIONS.
- WOOD BLOOMING SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
- EXTEND OR MODIFY EXISTING FIRE/LEIFE SAFETY SYSTEM AS REQUIRED TO PROVIDE AN APPROVED PRELIFE SAFETY SYSTEM. SUBMIT PLANS TO FIRE DEPARTMENT WITH COMPLETE DESCRIPTION OF SEQUENCE OF OPERATION, AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
- LOCATE THE CENTER OF FIRE ALARM INITATING DEVICES 48" ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE OR SIDEWALK.
- EMERGENCY WARNINGS SYSTEMS SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED. FLASHING VISUAL WARNINGS SHALL HAVE A FREQUENCY OF NOT MORE THAN 60 FLASHES PER MINUTE.
- AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY OR REMOTE STATION SERVICE OR A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION.

## 4 REFLECTED CEILING NOTES

- REFER TO MECHANICAL, ELECTRICAL, AND FIRE SPRINKLER DRAWINGS AND SPECIFICATIONS FOR DESIGN OF THESE SYSTEMS (DUCT SIZES, CIRCUITING, ETC.) LOCATIONS, HOWEVER, OF FIXTURES, REGISTERS, SWITCHES, ETC. SHALL BE AS SHOWN ON ARCHITECTURAL PLANS AND DETAILS. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING CONSTRUCTION.
- VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, DUCTS, STRUCTURAL ELEMENTS, AND OTHER APPLICABLE ITEMS. ARRANGE AND MODIFY NON-VISIBLE ITEMS TO INSURE ADEQUATE CLEARANCES FOR CEILING LAYOUT AS SHOWN.
- ALL REGISTERS AND LIGHTING FIXTURES SHALL OCCUR WITHIN GRID LINES AND SPRINKLER HEADS. INCANDESCENT FIXTURES, OR OTHER CEILING ELEMENTS SHALL BE LOCATED ON THE CENTERLINE OF ACoustICAL UNITS, UNLESS OTHERWISE NOTED.
- ALL LIGHT SWITCHES, UNLESS OTHERWISE NOTED, SHALL BE LOCATED TO MATCH EXISTING, AND BE LOCATED 6" FROM LATCH SIDE OF DOOR FRAME.
- ALL NEW & EXISTING THERMOSTATS SHALL BE MOUNTED 4'-0" A.F.F. WHEN THERMOSTATS AND LIGHT SWITCH OCCUR TOGETHER, INSTALL BOTH ALIGNED VERTICALLY AT CENTERLINE OF EACH.
- WHERE LIGHTS AND SWITCHES ARE NOT NOTED WITH A LOWER CASE LETTER SWITCH DESIGNATION, THE SWITCHES ARE TO BE CONNECTED TO ONLY THE LIGHTS WITHIN THAT SPECIFIC ROOM.
- ALL FLOURESCENT LAMPS SHALL BE BLDG. STANDARD, U.V.G.
- LIGHT SWITCHES SHOWN ADJACENT TO EACH OTHER SHALL BE GANGED AND COVERED WITH A SINGLE PLATE. COVER PLATES AND SWITCHES SHALL BE BUILDING STANDARD.
- LIGHT SWITCHING SHALL CONFORM TO APPLICABLE CODE REQUIREMENTS.
- RELAP EXISTING FIXTURES WHERE NECESSARY TO MATCH NEW LAMPS.
- LINEAR OFFUSERS CROSSING PARTITIONS SHALL BE SOUND INSULATED AND SEALED TO PREVENT LIGHT LEAKS.

## 5 POWER AND COMMUN. NOTES

- SURVEY FIELD CONDITIONS AND VERIFY THAT WORK IS FEASIBLE AS SHOWN. VERIFY LOCATION OF FLOOR OUTLETS, AND OTHER OUTLETS IN RELATION TO STRUCTURAL AND OTHER ELEMENTS.
- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL NOTES AND INFORMATION WHERE CONFLICTS OCCUR. ARCHITECTURAL DRAWINGS SHALL TAKE PRECEDENCE FOR LOCATION AND TYPE OF OUTLET.
- INDICATED DIMENSIONS ARE TO THE CENTERLINE OF THE OUTLET (SWITCH) OR CLUSTER OF OUTLETS (SWITCHES), UNLESS OTHERWISE NOTED; GANG COVERPLATES SHALL BE ONE-PIECE TYPE, UNLESS OTHERWISE NOTED.
- INSTALL OUTLETS NOT OTHERWISE DIMENSIONED 4 INCHES CLEAR HORIZONTALLY FROM EDGE OF FLOOR MONUMENT OR WALL PLATE TO THE NEAREST PARTITION AND/OR COLUMN.
- STANDARD WALL OUTLETS SHALL BE MOUNTED VERTICALLY TO CENTER LINE, 1'-3" ABOVE FINISH FLOOR, UNLESS OTHERWISE NOTED.
- INSTALL ABOVE-COUNTER AND BELOW-COUNTER OUTLETS AND OUTLETS INDICATED AT SPECIAL MOUNTING HEIGHT, HORIZONTALLY, UNLESS OTHERWISE NOTED.
- INSTALL OUTLETS 1 INCH ABOVE COUNTER OR BACK SPLASH MEASURED FROM BOTTOM EDGE OF OUTLET FACEPLATE TO TOP OF CABINERY, UNLESS OTHERWISE NOTED.
- INSTALL OUTLETS 3 INCH BELOW LOWEST ELEMENT OF CABINERY MEASURED FROM TOP EDGE OF FACEPLATE TO BOTTOM OF CABINERY, UNLESS OTHERWISE NOTED.
- DO NOT MOUNT OUTLETS BACK-TO-BACK ON OPPOSITE SIDES OF PARTITION. MAINTAIN MINIMUM 12 INCH SEPARATION.
- VERIFY ALL EQUIPMENT MOUNTING REQUIREMENTS OF ALL ELECTRICAL, TELEPHONE AND OTHER EQUIPMENT.
- FURNITURE IS SHOWN FOR GENERAL REFERENCE ONLY.
- ALL CORING LOCATIONS SHALL BE REVIEWED IN FIELD BY ARCHITECT AND COORDINATED WITH LANDLORD PRIOR TO CORING.
- COORDINATE INSTALLATION OF TELEPHONE AND DATA SYSTEMS UNLESS OTHERWISE NOTED.
- ARCHITECTURAL DRAWINGS ARE SCHEMATIC IN NATURE. DESIGN/BUILD ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, COMPLYING WITH ALL APPLICABLE CODES, FOR PROPER SIZING AND CIRCUITING OF WORK, AND PROVIDING AS BUILT DRAWINGS AT COMPLETION OF WORK.
- REMOVE ALL FLOOR MONUMENTS PRIOR TO CARPET INSTALLATION. REMOVE COVER PLATES FROM ALL PREVIOUSLY CAPPED OUTLETS. ALL CAPPED OUTLETS ARE TO BE FLUSH WITH FLOOR SURFACE. REINSTALL AND RE TRIM ALL MONUMENTS FOLLOWING CARPET INSTALLATION.
- ALL ISOLATED GROUND COMPUTER CIRCUITS SHALL RECEIVE ORANGE COLORED OUTLET.
- COVER PLATES, RECEPTACLES AND RELATED ITEMS SHALL BE BUILDING STANDARD UNLESS OTHERWISE NOTED.
- OBTAIN EQUIPMENT SPECIFICATIONS, INCLUDING POWER AND INSTALLATION REQUIREMENTS FROM MANUFACTURERS TO ENSURE PROPER FIT AND FUNCTION.

## 6 FINISH NOTES

- ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. STARTING OF WORK SHALL INDICATE INSTALLERS ACCEPTANCE OF SUBSTRATE.
- UNLESS OTHERWISE NOTED, PROVIDE MINIMUM 3-COAT PAINT SYSTEMS AS SPECIFIED FOR EACH SUBSTRATE. REFER TO FINISH PLAN FOR COLORS ALL WALLS - EGGSHELL SHEEN. ALL G/WX CEILING - FLAT SHEEN. ALL EXPOSED DUCT WORK & METAL DECK CEILING IN FACTORY AREA TO MATCH EXISTING FINISH.
- REPAIR AND PREPARE EXISTING SURFACES SHOWN TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.
- PRIOR TO PURCHASE OR INSTALLATION OF ANY FINISH MATERIALS SUBMIT 3 SETS OF SAMPLES TO ARCHITECT FOR REVIEW IN CONFORMANCE WITH SPECIFIED PROCEDURES. ALLOW TIME FOR SUBMITTAL REVIEW AND FOR RE-SUBMITTALS IF REQUIRED.
- WHERE DEMOLITION DELIVERS WALLS, CEILING, CARPET, ETC. TO REMOVE, PATCH AND REFINISH TO PROVIDE LIKE NEW APPEARANCE.
- ALL NEW AND EXISTING FINISHES SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE SHALL BE REPAIRED BY CONTRACTOR INVOLVED AT HIS COST WITH NO COST TO OWNER.
- PROVIDE STRAIGHT, FLUSH RESILIENT BASE AT CARPETED AREAS, AND RUBBER BASE AT V.C.T. FLOORING UNLESS OTHERWISE NOTED.
- INSTALL RESILIENT "DOOR TYPE" TRANSITION STRIP WHERE CARPET TERMINATES AT RESILIENT FLOORING. SEE FINISH LEGEND FOR COLOR.
- PAINT HVAC DIFFUSERS, DRAPERY COVERS, FIRE EXTINGUISHER CABINET, AND SPEAKER GRILLS TO MATCH ADJACENT FINISH UNLESS OTHERWISE NOTED.

## 7 BUILDING DEPARTMENT NOTES

- THESE DRAWINGS WERE PREPARED FOR AN ALTERATION ON A SINGLE-TENANT FLOOR, AT THE LOCATION INDICATED BELOW.
- IT IS THE INTENT OF THESE DOCUMENTS THAT THEY CONFORM TO APPLICABLE CODES AND REGULATIONS AS THEY APPLY TO A PROJECT OF THIS TYPE.
- THIS INSTALLATION SHALL BE ACCESSIBLE IN CONFORMANCE WITH REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AND THE BARRIER-FREE COMPLIANCE OF THE NEW JERSEY UNIFORM CONSTRUCTION CODE AS THEY MAY APPLY TO A PROJECT OF THIS TYPE, AND AS THEY ARE LIMITED TO THE SCOPE OF THIS PROJECT.
- EXISTING ENTRANCES, TOILET ROOMS, MECHANICAL ROOMS, MAINTENANCE ROOMS, OTHER TENANT SPACES NOTED (E) EXISTING ARE UNCHANGED. BUILDING EXTERIOR AND SITE WORK REMAIN UNCHANGED.
- ALL WORK SHALL CONFORM TO AND SHALL BE PERFORMED IN COMPLIANCE WITH 5 ANY CODES, RULES, OR REGULATIONS OF ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AGENCY HAVING JURISDICTION OVER THIS WORK.
- "NOTICE OF COMMENCEMENT OF WORK" - AT LEAST 24 HOURS WRITTEN NOTICE SHALL BE GIVEN TO THE BUILDING OFFICIAL BEFORE THE COMMENCEMENT OF ANY WORK FOR WHICH A PERMIT HAS BEEN ISSUED. BEFORE ANY WORK IS COMMENCED ON AN ITEM OF CONSTRUCTION REQUIRING CONTROLLED INSPECTION, ALL PERSONS RESPONSIBLE FOR SUCH CONTROLLED INSPECTION SHALL BE NOTIFIED IN WRITING AT LEAST 72 HOURS PRIOR TO SUCH COMMENCEMENT.
- ALL WOOD TO BE USED IN THE CONSTRUCTION SHALL BE FIRE RETARDANT TREATED WOOD IN ACCORDANCE WITH THE BC 2008 BUILDING CODE.
- FIRESTOPPING/FIREBLOCKING AND DRAFT STOPPING SHALL BE AS REQUIRED BY THE CODE IN EFFECT.
- ALL INTERIOR FINISHES SHALL COMPLY WITH THE BUILDING CODE IN EFFECT.
- HUNG CEILING CONSTRUCTION SHALL COMPLY WITH THE BUILDING CODE IN EFFECT.
- ALL FIRE RATED AND TREATED DOORS SHALL BEAR THE LABEL OF UNDERWRITERS LABORATORIES OR OTHER SUCH LABELS AS MAY BE REQUIRED BY THE LOCAL BUILDING AUTHORITY.
- EXIT SIGNS AND LIGHTS SHALL COMPLY WITH APPLICABLE CODE, OR AS MAY OTHERWISE BE REQUIRED BY THE LOCAL FIRE MARSHAL.
- FIRE EXTINGUISHERS SHALL BE PROVIDED IN CONFORMANCE WITH APPLICABLE CODES, OR AS MAY OTHERWISE BE REQUIRED BY THE LOCAL BUILDING OFFICIAL.

## 8 ASBESTOS NOTES

- IN THE EVENT OF ASBESTOS OR OTHER TOXIC SUBSTANCE EXPOSURE OR THE SUBSTANTIAL RISK THEREOF, CLIENT WILL HAVE THE DUTY TO INFORM ARCHITECT OF SUCH RISKS AND/OR OF REASONABLY KNOWN TO CLIENT, IF ASBESTOS, OR ANY OTHER TOXIC SUBSTANCE, OR RISKS TO EXPOSURE THEREOF IS DISCOVERED BY ARCHITECT DURING WORK ON THE PROJECT. ARCHITECT SHALL, IN ITS SOLE DISCRETION, HAVE THE RIGHT TO SUSPEND WORK ON THE PROJECT. CLIENT WILL BE RESPONSIBLE TO RETAIN A QUALIFIED EXPERT SAFELY TO REMOVE OR SUPERVISE THE REMOVAL OF SUCH ASBESTOS OR OTHER TOXIC SUBSTANCE. CLIENT SHALL INDEMNIFY AND HOLD ARCHITECT, ITS AFFILIATES AND SUBCONTRACTORS, AND THEIR OFFICERS, AGENTS AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITY ON THE PART OF OR DAMAGE TO SUCH ENTITIES OR PERSONS, INCLUDING THE COST OF LEGAL FEES AND EXPENSES, AS SUCH FEES AND EXPENSES ARE INCURRED, WHICH MAY RESULT FROM ASBESTOS OR OTHER TOXIC SUBSTANCE EXPOSURE ON THE PROJECT.

## 9 DEMOLITION NOTES

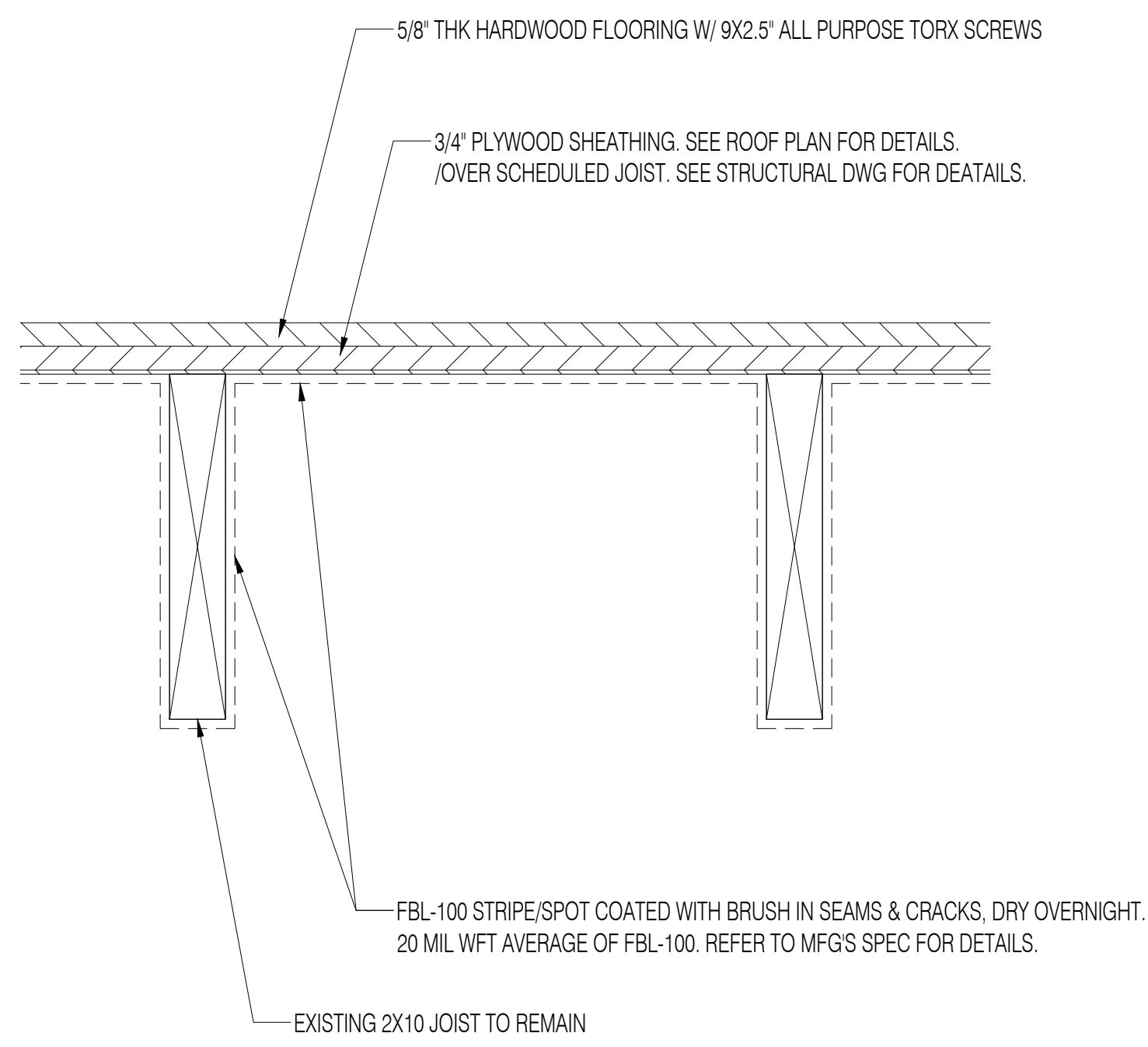
- PERFORM DEMOLITION IN ACCORDANCE WITH DEMOLITION PLAN AND IN COORDINATION WITH NEW OUTLETS, AND OTHER OUTLETS IN RELATION TO STRUCTURAL AND OTHER ELEMENTS.
- REVIEW AND COORDINATE ALL DEMO WORK REQUIRED BY BUILDING ARCHITECT, AND STRUCTURAL ENGINEER.
- CONTRACTOR SHALL VERIFY CONDITIONS AND NOTIFY ARCHITECT OR OWNER OF ALL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURES; PROVIDE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE, OR INJURY.
- CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARD RAILS AS REQD BY APPLICABLE REGULATORY ADVISORY TO PROTECT OCCUPANTS OF BLDG., WORKERS, AND PEDESTRIANS.
- ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND STUB OFF, NOTIFY THE AFFECTED UTILITY CO. AND BLDG. MGR. IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THIS WORK.
- HAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION, AND DETERMINE WHETHER ANY COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED TO E.P.A. STANDARDS PRIOR TO DEMOLITION.
- PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
- EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED, IMMEDIATELY REMOVE FROM SITE.
- DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING, PROTECT EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS, PHASE DEMOLITION IN ACCORDANCE WITH CONSTRUCTION SCHEDULE.
- PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
- REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE IN A CONDITION ACCEPTABLE TO THE ARCHITECT.
- G.C. SHALL COORDINATE W/ OWNER ALL SALVAGED ITEMS FOR REUSE SUCH AS DOORS, FRAMES, CEILING TILES, SUSPENDED CEILING GRIDS, AND WALL FIXTURES, ETC. PROVIDE LIST OF REUSABLE ITEMS AND CONFIRM W/OWNER FOR APPROVAL.

## 10 ABBREVIATIONS

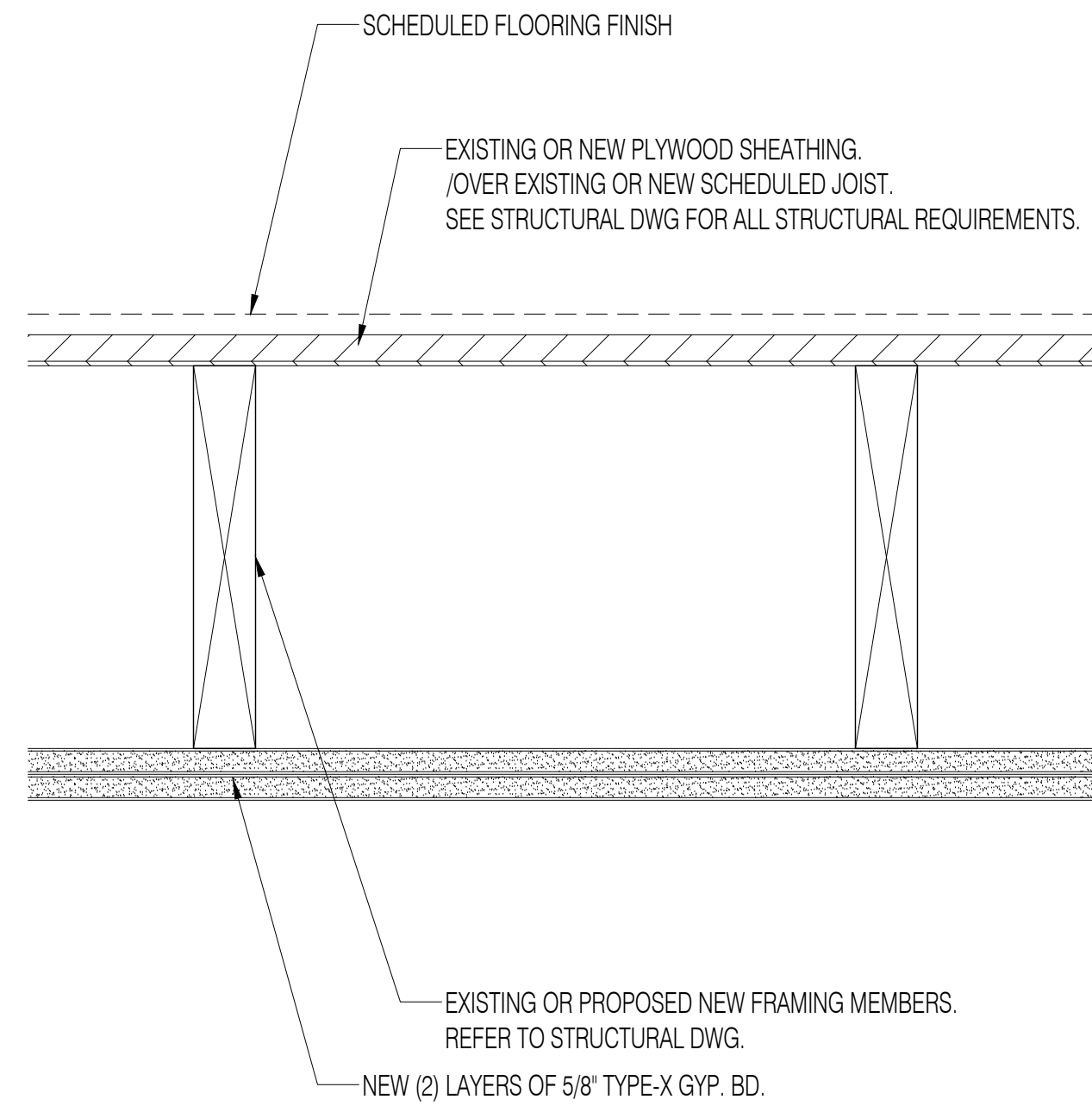
A		M	
A/C	AIR CONDITIONING	MAINT.	MAINTENANCE
ACC.	ACCOUS TILES	MAX.	MAXIMUM
ACCU.	ACCUUSTICAL TILE	MECH.	MECHANICAL
ADD(N)	ADDITIONAL	M.C.	MAL CHUTE
ADJ.	ADJUSTABLE	MFL.	METAL
ALUM.	ALUMINUM	MEZZ.	MEZZANINE
ALUM.	ALUMINUM	MANUF.	MANUFACTURING
ALUM.	ALUMINUM	MFR.	MANUFACTURER
ANOD.	ANODIZED	MGR.	MANAGER
APPROX.	APPROXIMATE	MIN.	MINIMUM
ARCH.	ARCHITECT	MTD.	MOUNTED
AUTO.	AUTOMATIC	MUL.	MULLION
AVG.	AVERAGE	M.W.	METAL THRESHOLD
A.F.F.	AND ABOVE FINISH FLOOR	N	NORTH
B		(N)	NEGATIVE
BD	BOARD	NEG.	NOT IN CONTRACT
BLDG.	BUILDING	N.C.	NO (OR #)
BLDG.	BUILDING	N.C.	NO (OR #)
BRK.	BRACKET	N.T.S.	NOT TO SCALE
BSMT.	BASINEMENT	O	OVERALL
C		O.C.	ON CENTER
CAB.	CABINET	O.D.	OUTSIDE DIAMETER
C.C.	CENTER TO CENTER	O.F.F.	OFF SET
C.C.	CERAMIC	O.H.	OPPOSITE HAND
CER.	CERAMIC	O.P.	OPENING
CL	CENTER LINE	O.P.	OPENING
C.L.	CENTER LINE	O.P.	ORIGINAL
C.L.	CENTER LINE	P	
CLOR	CLOSET	PART. BD.	PARTICLE BOARD
CLR.	CLEAR	PLAN.	PLASTIC LAMINATE
CLR. OPS.	CLEAR OPENING	PLAS.	PLASTER
COL.	COLUMN	PLY.	PLYWOOD
CONN.	CONNECT OR CONNECTION	PNL.	PANEL
CONN.	CONNECT OR CONNECTION	PANEL	PANEL
CONSTR.	CONSTRUCTION	PREFAB.	PREFABRICATED
CONTR.	CONTRACTOR	PROJ.	PROJECT
CONTR.	CORNER	PTN.	PARTITION
COR.	CORNER	PTD.	PAINTED
C.W.	COLD WATER	Q	QUALITY
D		QUAN.	QUANTITY
D.A.	DOUBLE-ACTING	R	
DBL.	DOUBLE	RE.	RELOCATE
DEPT.	DEPARTMENT	R/A.	RETURN AIR
DET.	DETAIL	RAD.	RADIUS
DIA.	DIAMETER	RECEP.	RECEPTACLE
DIM.	DIMENSION	REFL.	REFLECTED
DIV.	DIVISION	REFL.	REFLECTED
DOOR	DOOR	RESIL.	RESILIENT
DRAWG.	DRAWING	RESID.	RESIDUAL
DRAW.	DRAWER	R.H.	RIGHT HAND
D.W.	DRAINWASHER	RND.	ROUND
D.W.	DRAINWASHER	R.O.	ROUGH OPENING
E		REV.	REVISION
(E)	EAST	S	
ELIC.	ELECTRIC	(S)	SOUTH
EL.	ELEVATOR	SCHED.	SCHEDULE
ELVTR.	ELEVATOR	SCHED.	SCHEDULE
ENG.	ENGINEER	SCHED.	SCHEDULE
EQ.	EQUAL	SH.	SHIELD
EQ.	EQUAL	SIM.	SIMILAR
EQUIP.	EQUIPMENT	SIM.	SIMILAR
EXH.	EXHAUST	SO.	SQUARE FEET
EXH.	EXHAUST	S.S.	STAINLESS STEEL
EXPN.	EXPANSION	STA.	STATION
EXPN.	EXPANSION	STD.	STANDARD
EXT.	EXTERIOR	STRL.	STRUCTURAL
ELECT.	ELECTRICAL	SUSP.	SUSPENDED
F		SWAL.	SYMMETRICAL
F.A.L.M.	FIRE ALARM FABRICATE	SVS.	SYSTEM
F.F.	FIRE EXTINGUISHER	SPL.	SPLASH
F.F.	FIRE EXTINGUISHER	T	
F.F.C.	FIRE HOSE CABINET	TAB	TOP AND BOTTOM
F.F.C.	FIRE HOSE CABINET	TECH.	TECHNICAL
F.F.C.	FIRE HOSE CABINET	TEL.	TELEPHONE
F.F.C.	FIRE HOSE CABINET	TEMP.	TEMPERED
F.F.C.	FIRE HOSE CABINET	TEMP.	TEMPERED
F.F.C.	FIRE HOSE CABINET	TEMP.	TEMPERED GLASS
F.F			



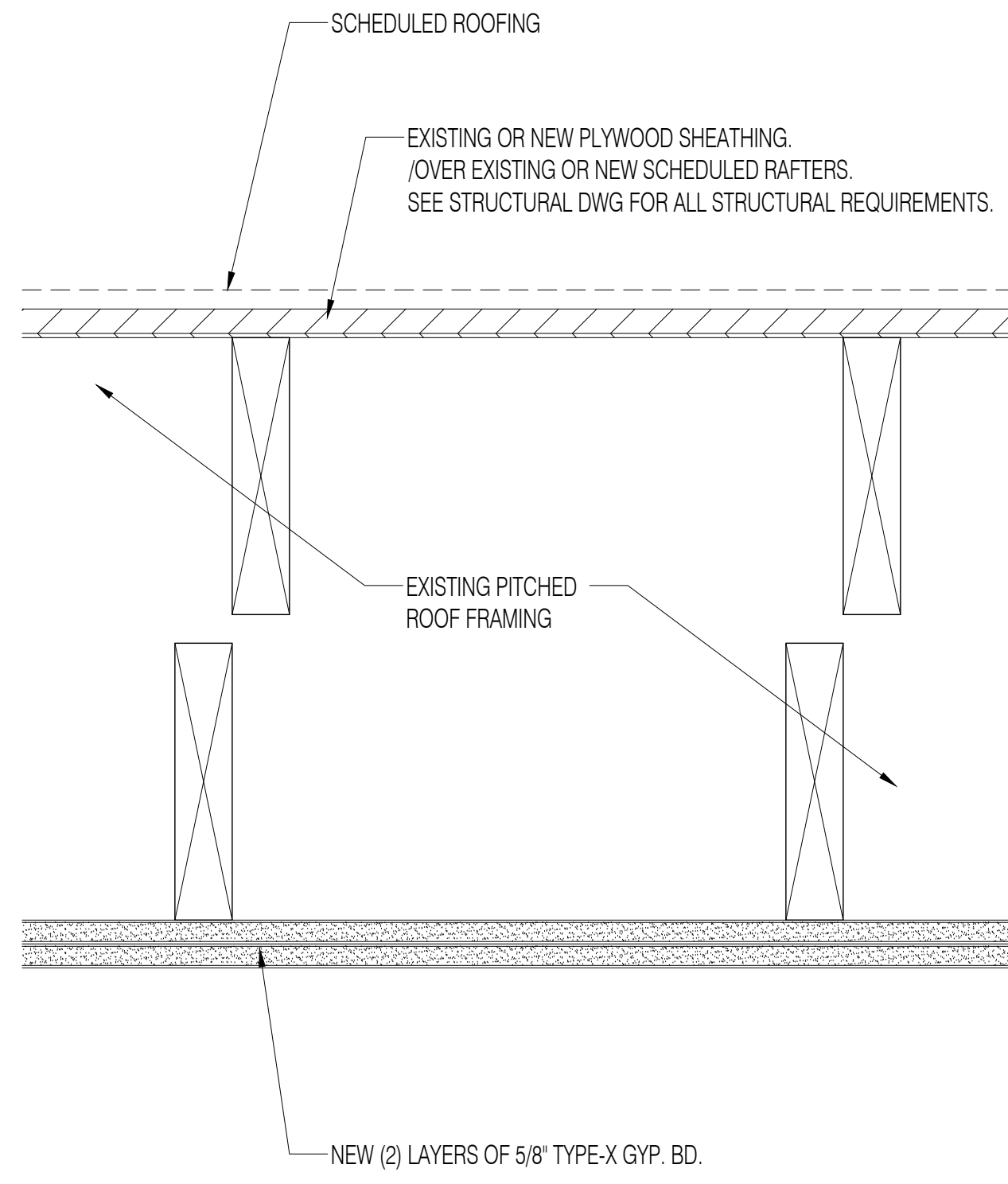
1HR FIRE RATED  
GFT-OP-10C  
FIRST FLOOR/BASEMENT CEILING OPTION #1 WITH HARDWOOD FLOORING



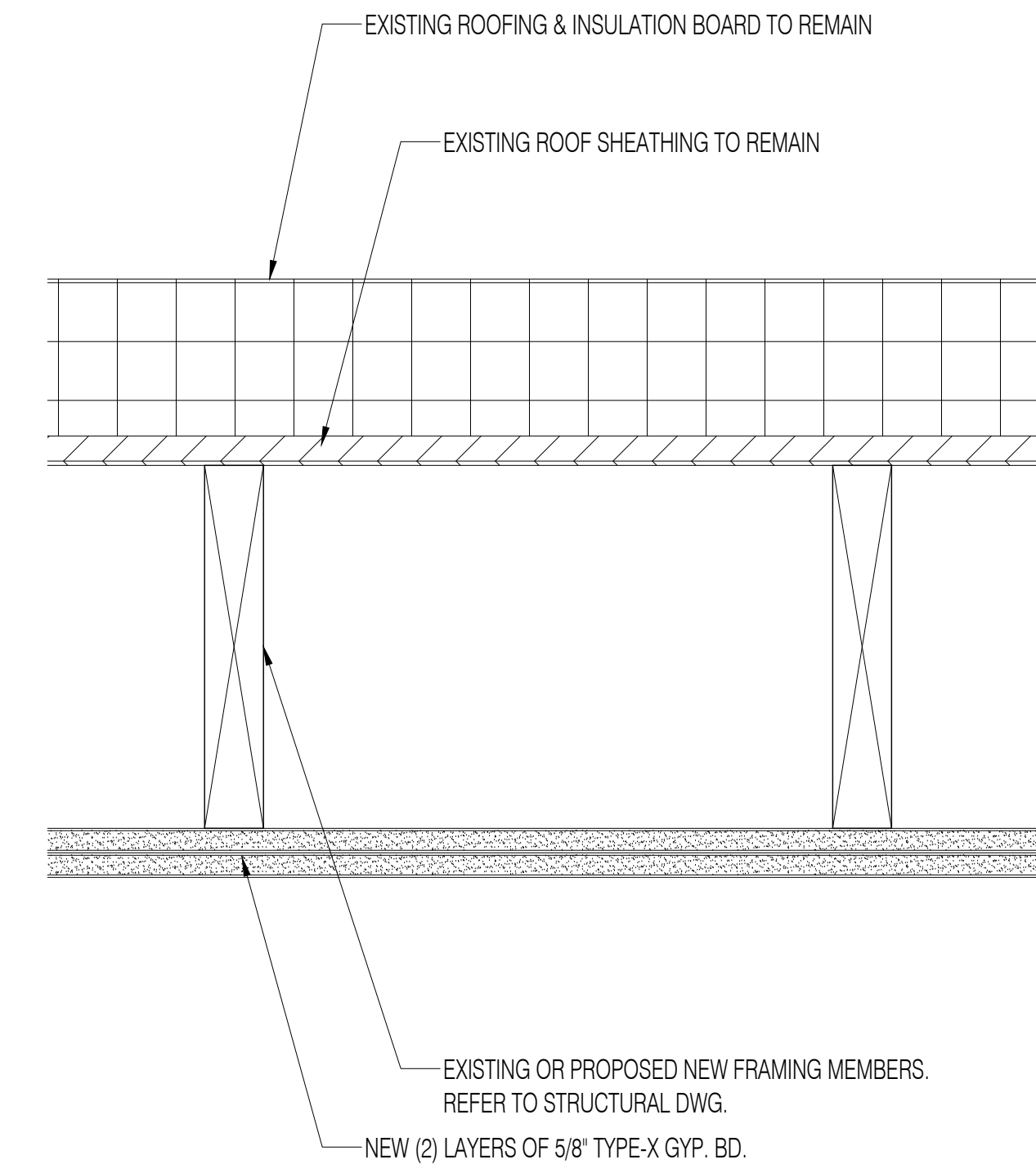
1HR FIRE RATED  
IBC ITEM # 21-1.1  
TYP. FLOOR/CEILING



1HR FIRE RATED  
IBC ITEM # 21-1.1  
TYP. PITCHED ROOF/CEILING



1HR FIRE RATED  
IBC ITEM # 21-1.1  
TYP. ROOF/CEILING



**1 FLOOR/CEILING ASSEMBLY- 1**  
SCALE: NTS

1HR FIRE RATED  
CALC. PER IBC SECTION 722.6

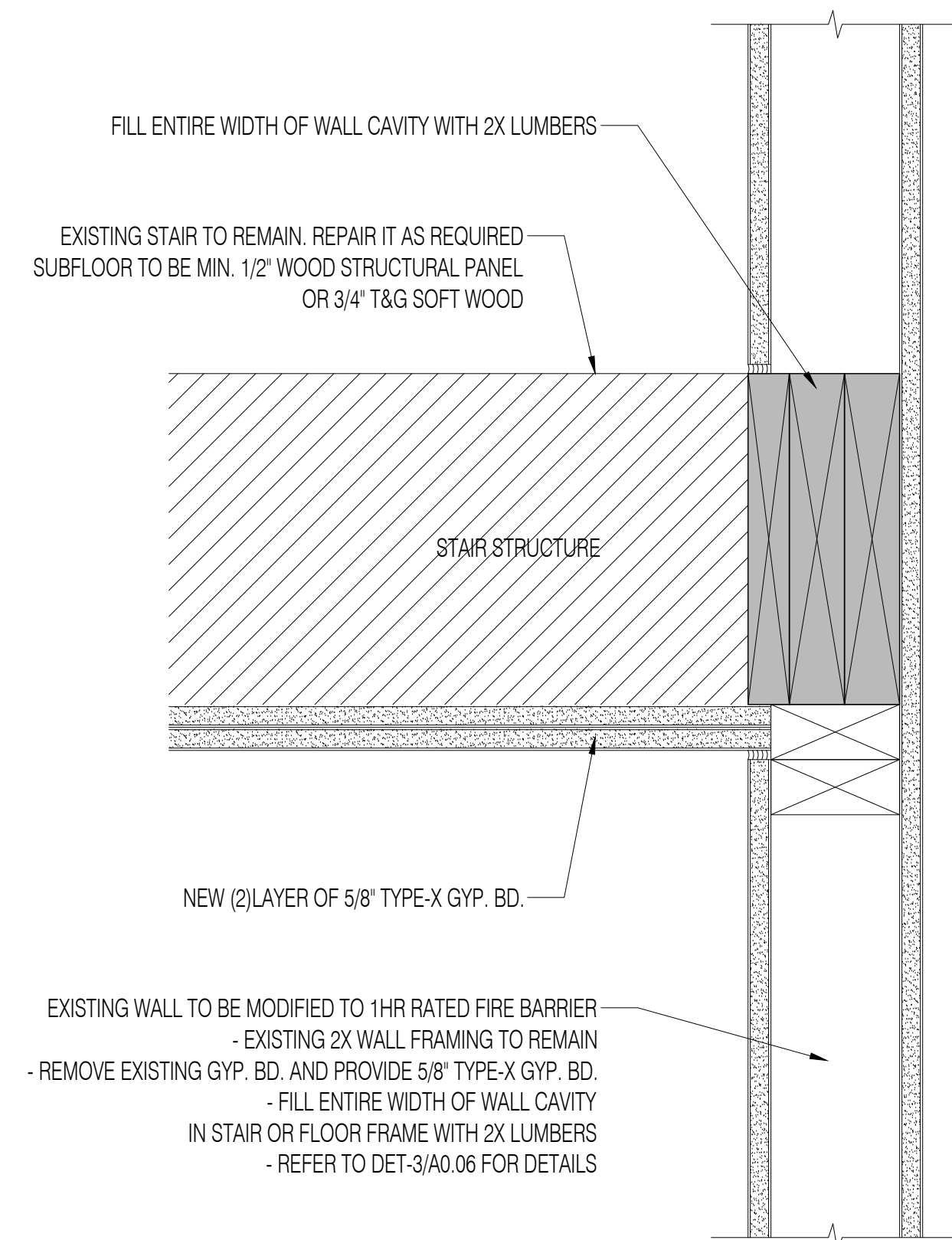
FIRE RATING CALCULATION (SECTION 722.6.2)	
- STRUCTURE ABOVE	NOT COUNTED
- 5/8" TYPE-X GYP. BD	40 MIN.
- 5/8" TYPE-X GYP. BD	40 MIN.
TOTAL	80 MIN.
ASSEMBLY RATING: 60 MIN.	
(ALLOWED MAX. IS 60 MIN. PER 722.6.1.1)	

**2 FLOOR/CEILING ASSEMBLY- 2**  
SCALE: NTS

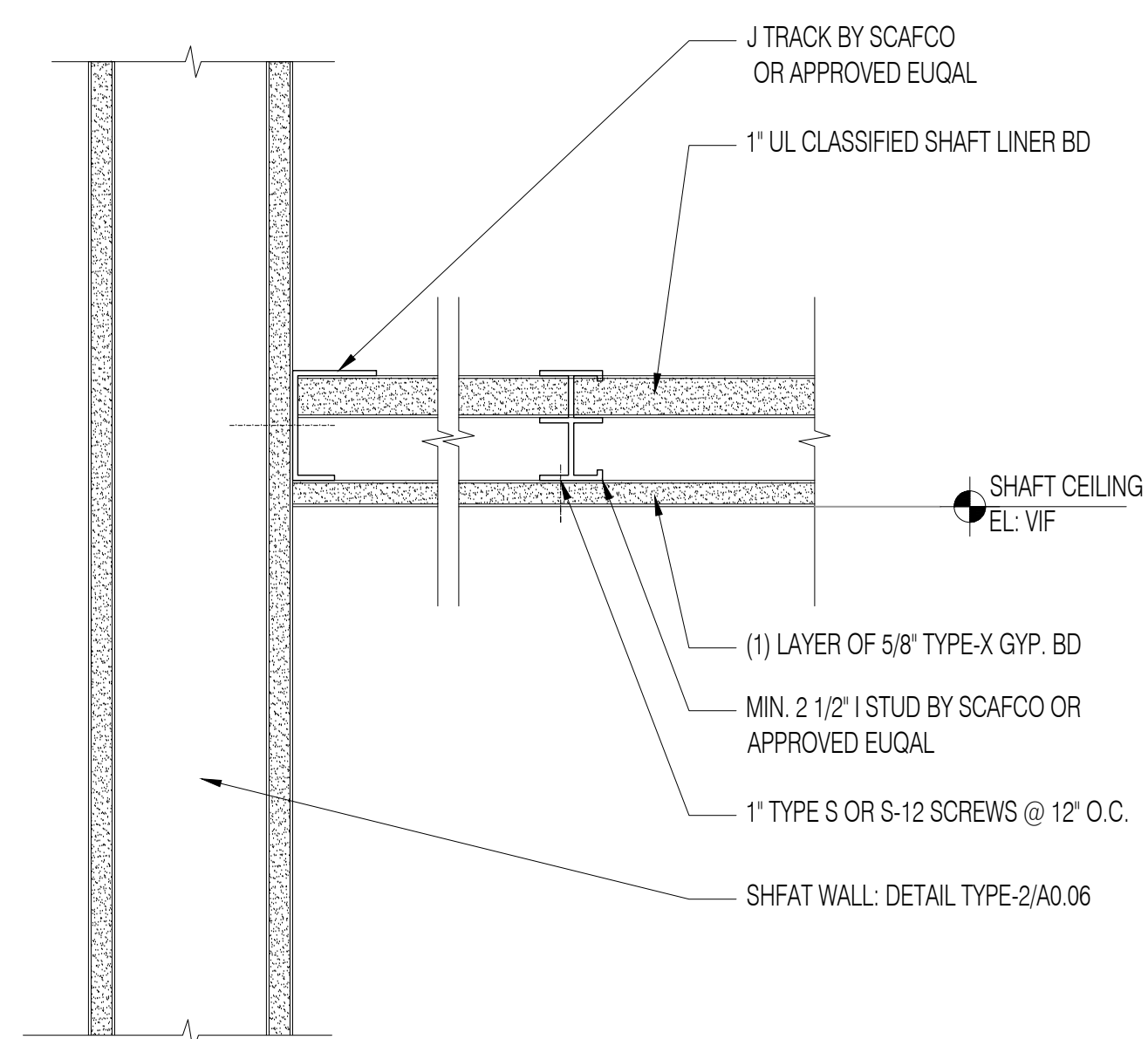
1HR RATED HORIZONTAL SHAFT CEILING  
UL EVALUATION REPORT ER3660-02 &  
ENGINEERING REPORT AER-09037

**3 ROOF/CEILING ASSEMBLY- 1**  
SCALE: NTS

**4 ROOF/CEILING ASSEMBLY- 2**  
SCALE: NTS



**5 FLOOR/CEILING ASSEMBLY: STAIR**  
SCALE: NTS



**6 ROOF/CEILING ASSEMBLY: ELEVATOR SHAFT**  
SCALE: NTS

PROJECT

**Norwescap  
Old Sullivan Building  
Remodeling Project**

PROJECT LOCATION

LOT: BLOCK:

**371 S Main Street  
Phillipsburg, NJ 08865  
Warren County**

CLIENT:

**NORWESCAP**  
350 Marshall Street  
Phillipsburg, NJ 08865

ARCHITECT

**B HORTEN**  
architecture & design  
312 State Route 10, Randolph, NJ 07869  
Tel: 973.442.5880 Fax: 973.442.5886

CONSULTANT

Issues and Revisions				
No.	Date	Issues and Revisions	By	Check
1.	05/17/24	ISSUE FOR BID	SA	BH

Registration and Signature

Benjamin J. Horten NJ License No: A115794

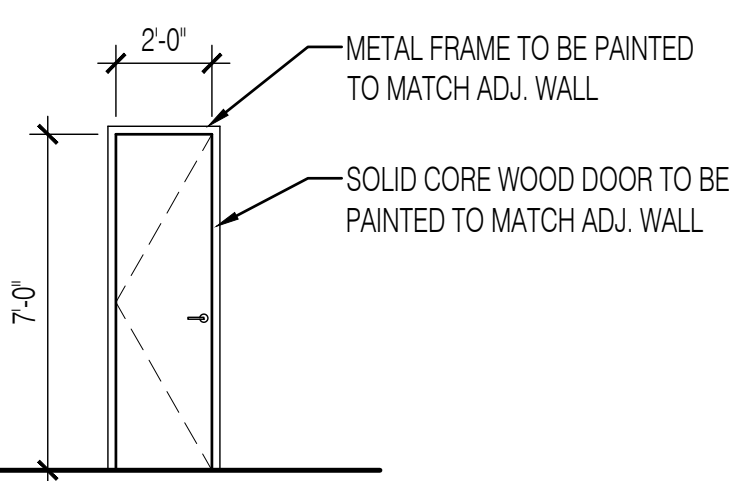
Drawing Description:  
FLOOR/CEILING, ROOF/CEILING ASSEMBLY DETAILS

Computer File:  
P:\22163 Norwescap Sullivan Bldg 371 S. Main St.  
Phillipsburg\drawings\06 CD Update\A0.06 Wall Partition.dwg

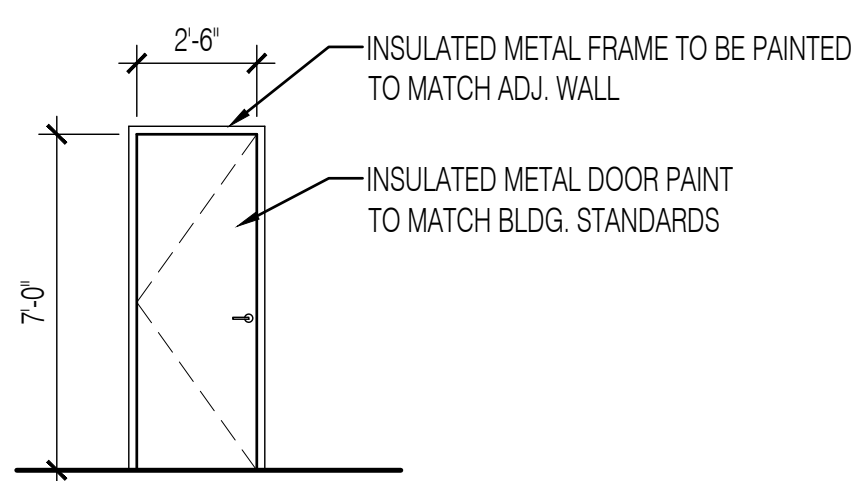
**A0.07**

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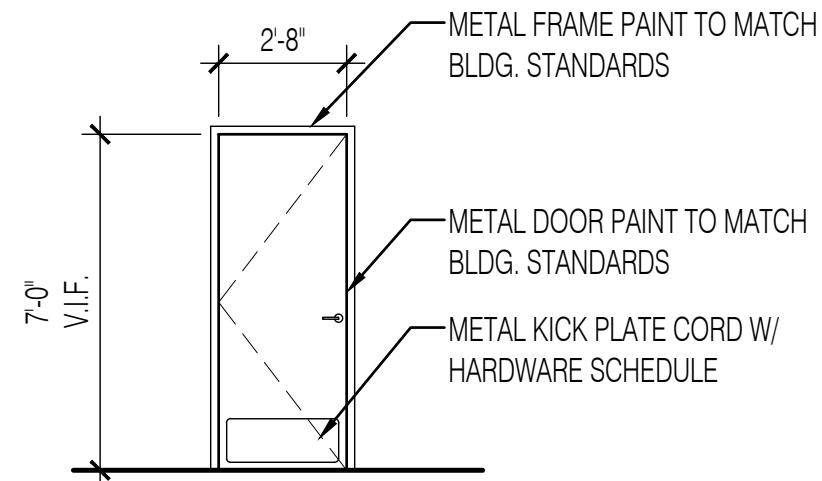
DOOR TYPES:



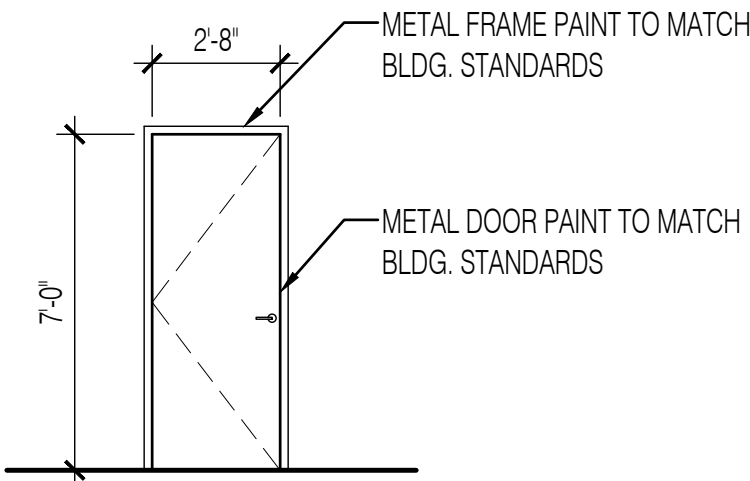
TYPE: 1  
1ST FLR TOILET: 105 & 106



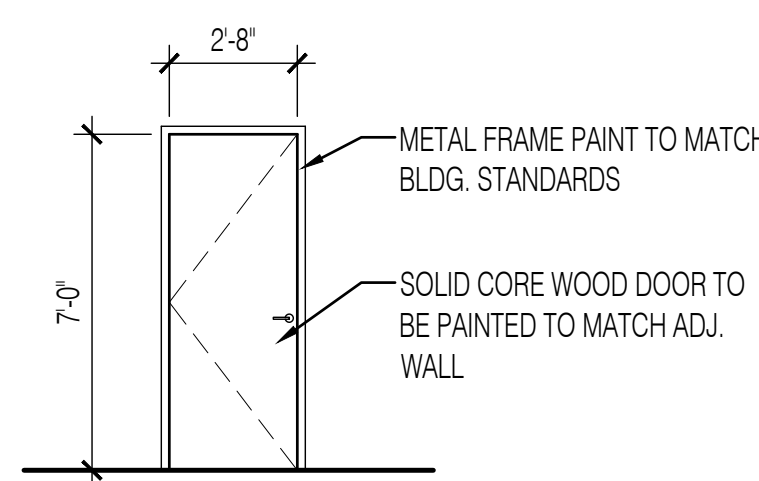
TYPE: 2  
3RD FLR FIRE ESCAPE DOOR 303  
ASSEMBLY U-FACTOR MAX.: U-0.370



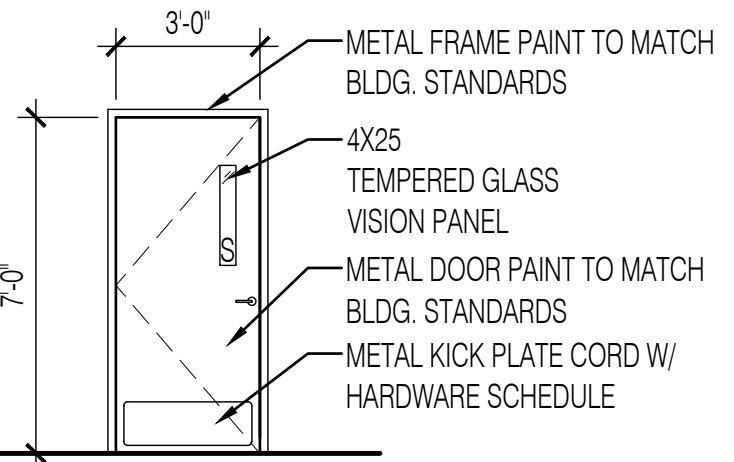
TYPE: 3  
1ST FLR KITCHEN DOOR 107 & 2ND FLR EXIT DOOR 208



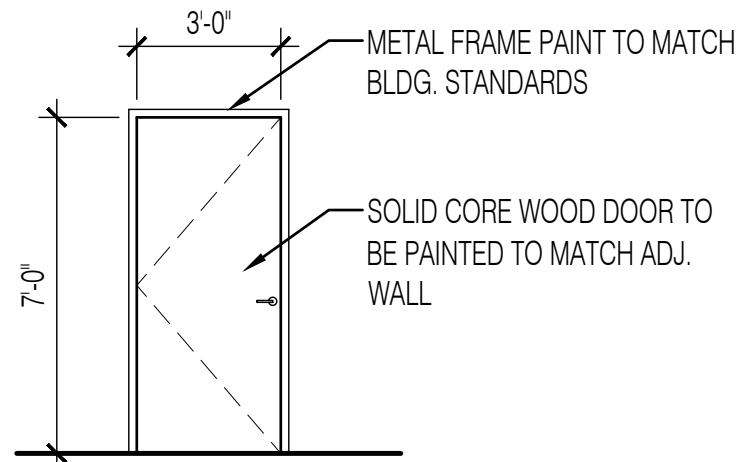
TYPE: 4  
2ND FLR STAIR FIRE RATED DOOR 204



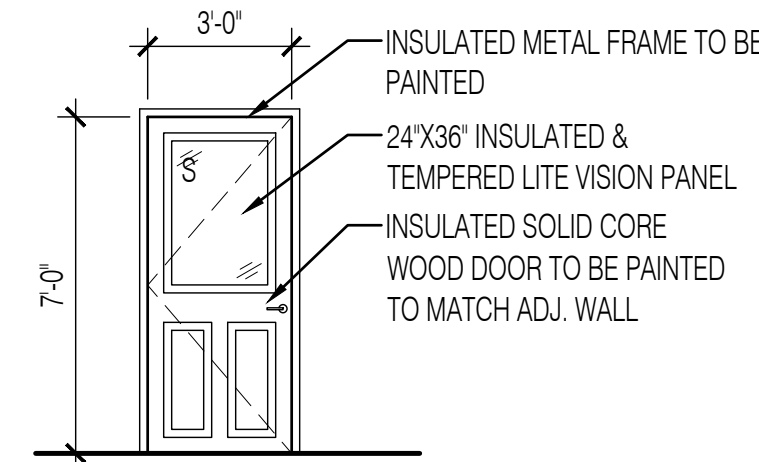
TYPE: 5  
2ND FLR STORAGE ROOM DOOR 201



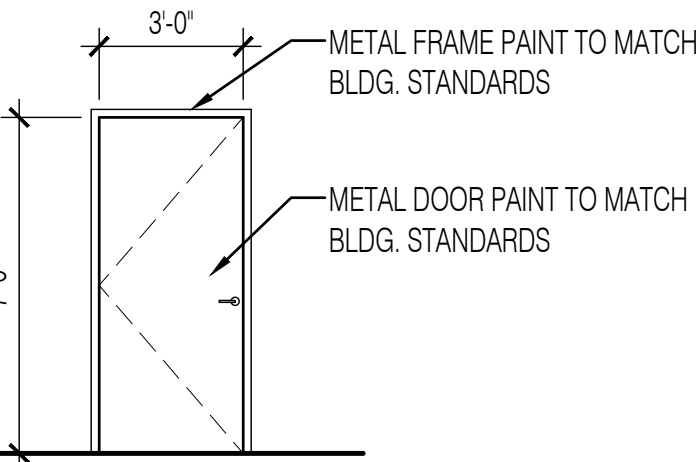
TYPE: 6  
1ST FLR KITCHEN DOOR 104



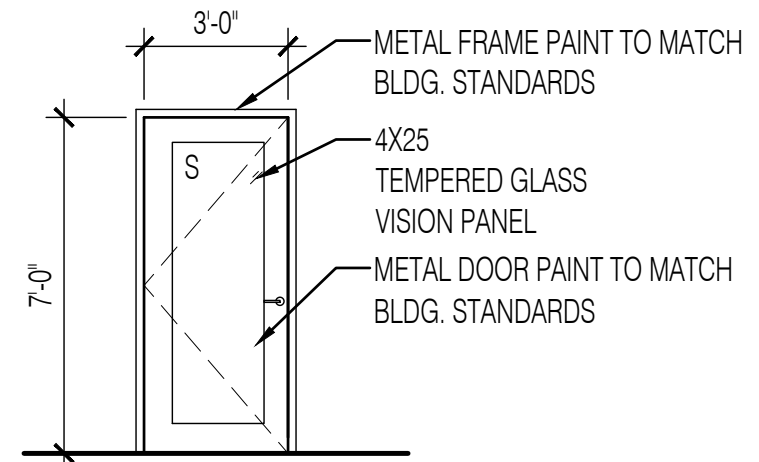
TYPE: 7  
1ST FLR TOIL. DOOR 103 & BASEMENT DOOR 108  
2ND FLR TOIL. DOOR 202



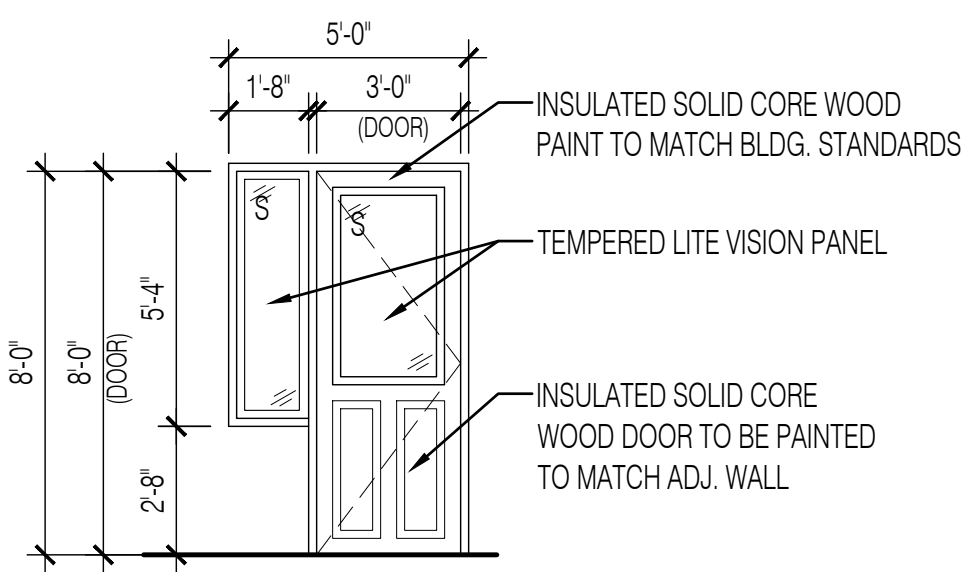
TYPE: 8  
1ST FLR ENTRANCE DOOR 109  
ENTRANCE DOOR  
ASSEMBLY U-FACTOR MAX.: 0.037



TYPE: 9  
1ST & 2ND FLR STAIR FIRE RATED DOOR 102 & 203

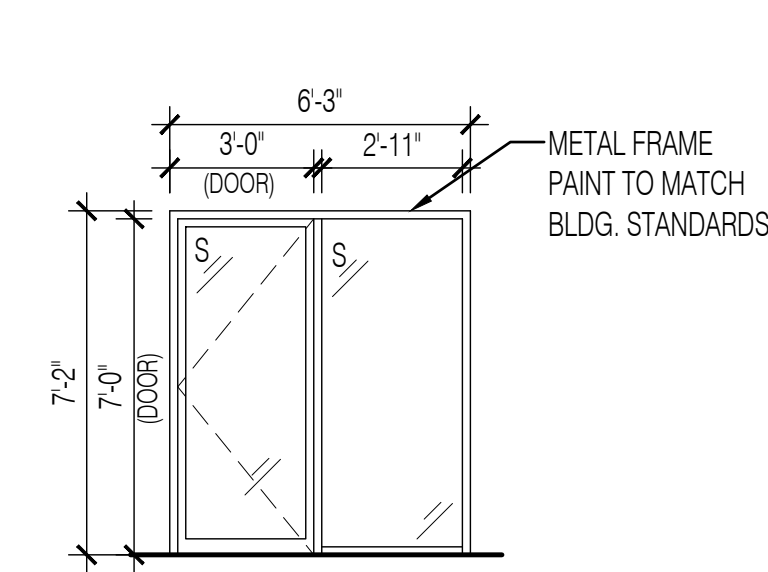


TYPE: 10  
2ND FLR CONF. RM DOOR 207

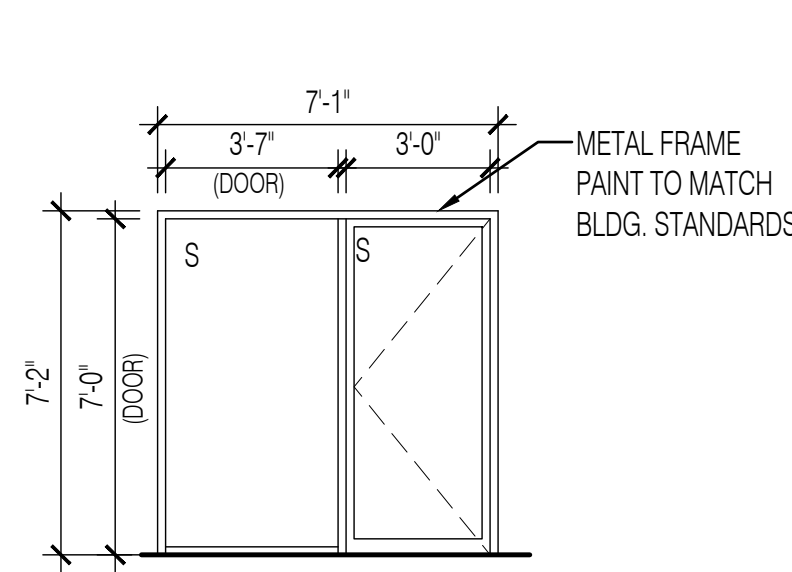


TYPE: 11  
1ST FLR ENTRANCE DOOR 101

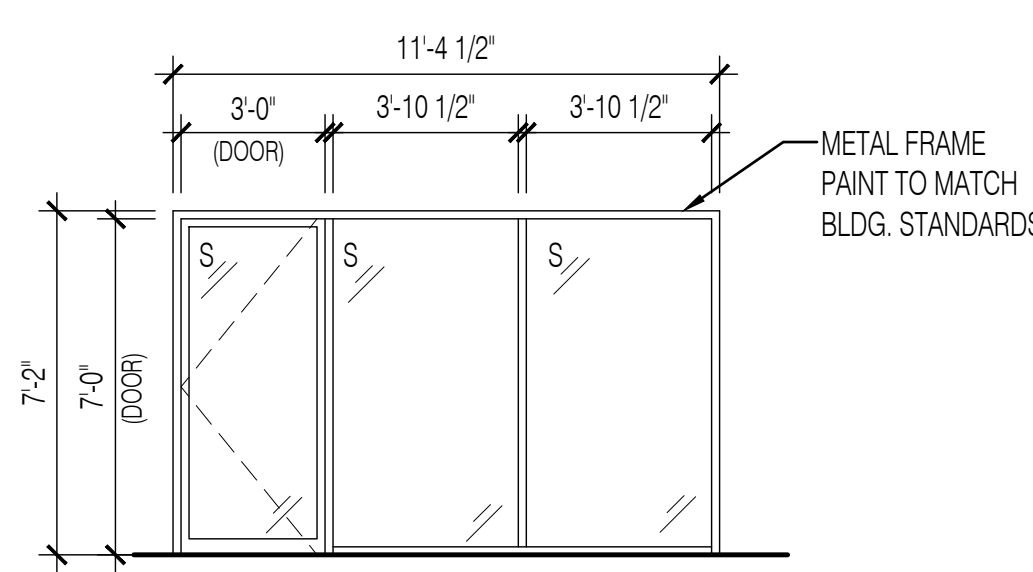
- ENTRANCE DOOR  
ASSEMBLY U-FACTOR MAX.: 0.63  
ASSEMBLY SHGC MAX.: 0.33  
ASSEMBLY VT/SHGC MIN.: 1.10  
- SIDELIGHT  
ASSEMBLY U-FACTOR MAX.: 0.36  
ASSEMBLY SHGC MAX.: 0.38  
ASSEMBLY VT/SHGC MIN.: 1.10



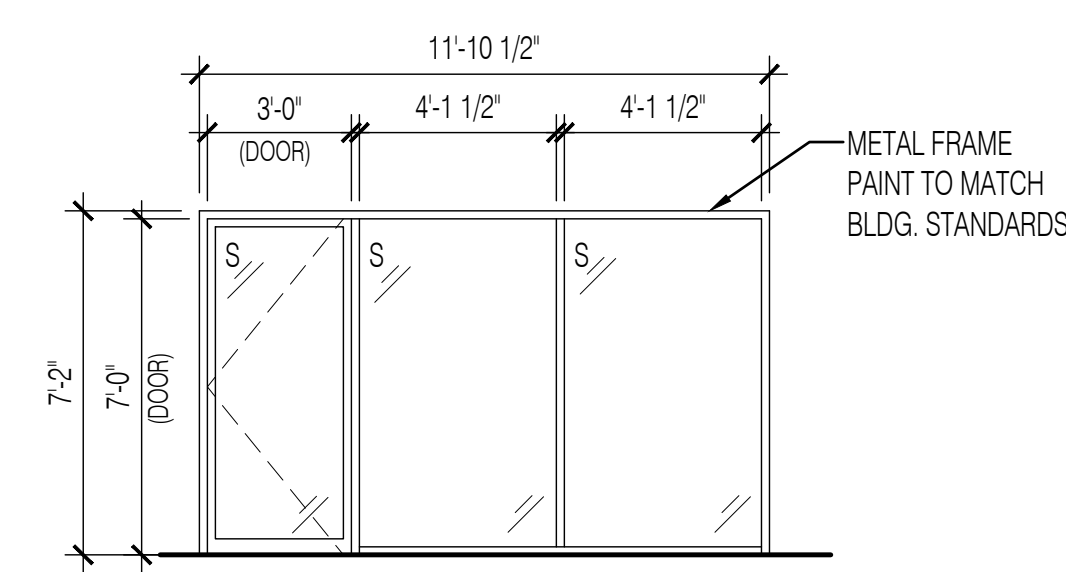
TYPE: 12  
3RD FLR MEETING ROOM DOOR 301



TYPE: 13  
2ND FLR OFFICE ROOM DOOR 205



TYPE: 14  
2ND FLR OFFICE ROOM DOOR 206



TYPE: 15  
3RD FLR MEETING ROOM DOOR 302

GENERAL NOTES:

- 1. GC TO COORDINATE FINAL HARDWARE & VISION PANEL REQUIREMENTS WITH OWNER IN FIELD.
2. REFER TO CONSTRUCTION PLAN FOR HAND OF DOOR. COORDINATE ALL DOOR SWING AND SIDELIGHT POSITION WITH FLOOR PLAN. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THE SCHEDULE.
3. PROVIDE SHOP DRAWINGS FOR APPROVAL.
4. FABRICATE AND INSTALL ALL WORK IN STRICT ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS. ORIGINAL DESIGN, FINAL SHOP DRAWINGS AND MANUFACTURERS RECOMMENDATIONS, ANCHORING ALL COMPONENTS FIRMLY IN POSITION FOR LONG LIFE UNDER HEAVY USE.
5. PROVIDE CUT-OUT, REINFORCEMENTS, ANCHORS AND FASTENERS FOR ALL HARDWARE IN ALL DOORS AND FRAMES AS PER MANUFACTURERS SPECIFICATIONS.
6. ALL DOORS SHALL HAVE UNDERCUTS OF 3/4" U.O.N.
7. ALL PAINTED DOORS SEE FINISH PLAN FOR FINISH REQUIREMENTS.
8. ALL HARDWARE TO BE SATIN CHROME FINISH. U.O.N. PROVIDE SAMPLE FOR APPROVAL. CLIENT TO ADVISE IF EXISTING BRASS COLORED DOOR HARDWARE IS REQUIRED TO BE REPLACED W/NEW CHROME COLOR HARDWARE.
9. ALL HOLLOW METAL FRAMES TO BE PAINTED TO MATCH EXISTING DOOR FRAMES. USE SATIN FINISH.
10. DOOR CONTRACTOR SHALL COORDINATE ALL FRAME THROAT SIZING WITH GC & CARPENTER.
11. ALL GLAZING IN DOORS & SIDE LIGHTS SHALL BE TEMPERED GLAZING.
12. ALL EXTERIOR DOOR ASSEMBLIES (INCLUDING FRAME, DOOR, & GLAZING) SHALL BE INSULATED TO MEET ENERGY CODE.
- OPAQUE DOOR: ASSEMBLY MAX. U-0.37
- GLASS ENTRANCE DOOR: ASSEMBLY MAX U-0.63, SHGC-0.33, & MIN. VT/SHGC: 1.10
13. PROVIDE SAFETY GLAZING WHERE NOTED 'S'

HOLLOW METAL DOORS & FRAMES (HM):

- COORDINATE WITH HARDWARE AND FRAMES.
- ALL HOLLOW METAL DOORS AND FRAMES BY REPUBLIC DOORS & FRAMES OR EQUAL. EXTERIOR HOLLOW METAL DOORS SHALL BE CONSTRUCTED WITH 18 GAUGE FACE SKINS AND L-20 POLYSTYRENE CORE (R-4.3 MIN.).
- DOORS TO HAVE CONTINUOUS VERTICAL MECHANICAL INTERLOCKING JOINTS WITH VISIBLE EDGE SEAMS. TOP AND BOTTOM STEEL REINFORCEMENT CHANNELS SHALL BE 14 GA. AND SPOT WELDED INSIDE DOORS.
- HINGE REINFORCEMENTS SHALL BE 7 GA. LOCK AND CLOSER REINFORCEMENTS SHALL BE 16 GA.
- FLUSH FRAMES SHALL BE MANUFACTURED FROM 16 GA. COLD ROLLED STEEL. ALL FRAMES TO BE KNOCK DOWN TYPE. FRAMES SHALL HAVE FACTORY INSTALLED RUBBER SILENCERS. (THREE PER STRIKE JAMB. FOUR IF DOOR IS TALLER THAN 8' OR HEAVY REQUIRED. ADDITIONAL HINGES). FRAMES TO HAVE FACTORY INSTALLED 7 GA. HINGE REINFORCEMENTS AND 14 GA. STRIKE REINFORCEMENT.
- ALL DOORS AND FRAMES SHALL BE CLEANED, PHOSPHATIZED, AND FINISHED WITH ONE COAT OF BAKED ON RUST INHIBITING PRIMER.
- CONTRACTOR TO PAINT WITH SATIN PAINT FINISH ALL HM DOORS & FRAMES. COLOR BY ARCHITECT. REFER TO DOOR TYPE.

SOLID CORE WOOD DOORS (SCW):

- COORDINATE WITH HARDWARE AND FRAMES.
- CONFORM TO AWI STANDARDS AND NWDIA STANDARD.
ALL SOLID CORE VENEER TO BE 5 PLY, REFER TO DOOR TYPE FOR FINISH.
\*\*FLUSH TYPE: 1 3/4" THICK, PARTICLE BOARD CORE, 5 PLY HOT PRESS LAMINATED CONSTRUCTION WITH STILES AND RAILS BONDED TO CORE. DOORS TO BE AWI CUSTOM GRADE.
MINERAL CORE FOR DOORS WITH FIRE RATINGS OVER 20 MINUTES.
\*\*STILE & RAIL, 1 3/4" THICK, PARTICLE BOARD CORE, 5 PLY HOT PRESS LAMINATED CONSTRUCTION WITH STILES AND RAILS BONDED TO CORE. DOORS TO BE AWI CUSTOM GRADE.
- DOORS BY FIVE LAKES MANUFACTURING OR APPROVED EQUAL.
- REFER TO FINISH PLAN FOR FINISH REQUIREMENTS
- WHERE STAINED DOORS ARE REQUIRED WOOD VENEER TO MATCH EXISTING, COORDINATE STAIN COLOR TO MATCH
- WHERE PAINTED DOORS ARE REQUIRED, PROVIDE PAINT GRADE VENEER, PAINT TO MATCH PER FINISH PLAN.

HARDWARE NOTES:

- 1. HARDWARE SUBCONTRACTOR TO PROVIDE COMPLETE HARDWARE SHOP DRAWINGS FOR REVIEW. ALL HARDWARE INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS & RECOMMENDATIONS AND TO BE IN ACCORDANCE WITH ALL CODES.
2. HARDWARE SPECIFIER TO PROVIDE UP TO TWO MEETINGS TO REVIEW HARDWARE & KEYING REQUIREMENTS W/ OWNER.
3. GC TO COORDINATE ALL DOOR COORDINATORS AND HARDWARE WITH DESIGNATED HARDWARE FUNCTION
4. HARDWARE TO BE BY SCHLAGE OR VON DUPRIN OR APPROVED EQUAL. ALL HARDWARE TO BE HEAVY DUTY COMMERCIAL GRADE.
5. ALL HANDLE SETS SHALL BE ADA COMPLIANT AND HAVE RETURN ENDS

DOOR SCHEDULE

Table with columns: DOOR NUMBER, TYPE, HARDWARE SET, FIRE RATING (MIN) LABEL, PANIC BAR, CLOSER REQUIRED, REMARKS, FROM (OUTSIDE), TO (INSIDE), HANDING. Rows include 101-109 and 201-208.

SECOND FLOOR

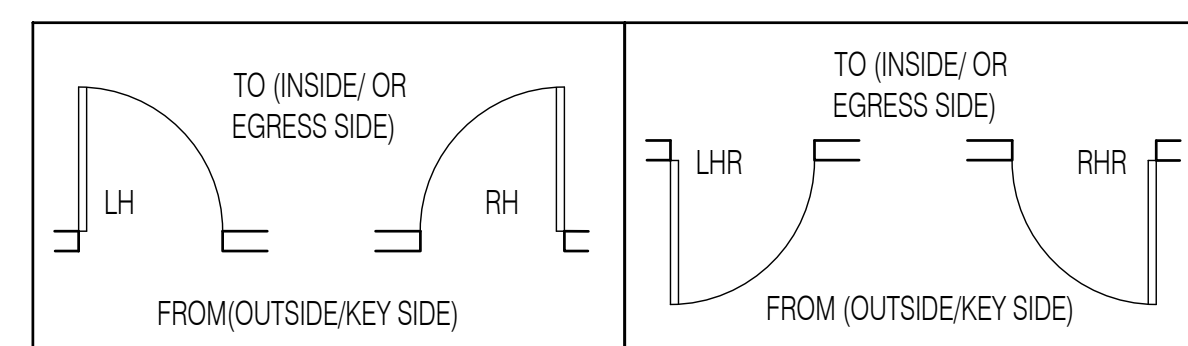
Table with columns: DOOR NUMBER, TYPE, HARDWARE SET, FIRE RATING (MIN) LABEL, PANIC BAR, CLOSER REQUIRED, REMARKS, FROM (OUTSIDE), TO (INSIDE), HANDING. Rows include 201-208.

THIRD FLOOR

Table with columns: DOOR NUMBER, TYPE, HARDWARE SET, FIRE RATING (MIN) LABEL, PANIC BAR, CLOSER REQUIRED, REMARKS, FROM (OUTSIDE), TO (INSIDE), HANDING. Rows include 301-303.

HARDWARE SCHEDULE:

NOTE: COORDINATE FINAL HARDWARE FUNCTION W/ OWNER.



HARDWARE SET #1 SINGLE DOOR - PASSAGE FUNCTION (1) LEVER TYPE HANDLE WITH PASSAGE FUNCTION (3) HINGES - DOOR SILENCER - PROVIDE DOOR CLOSER - DOOR STOP (WHERE HINGE IS LOCATED TO ADJ. WALL AT 90°)

HARDWARE SET #2 SINGLE DOOR - STORE ROOM FUNCTION (1) LEVER TYPE HANDLE WITH STORE ROOM FUNCTION LOCKSET (3) HINGES - DOOR SILENCER - PROVIDE DOOR CLOSER - DOOR STOP (WHERE HINGE IS LOCATED TO ADJ. WALL AT 90°)

PROJECT

Norwescap Old Sullivan Building Remodeling Project

PROJECT LOCATION

LOC: 371 S Main Street Phillipsburg, NJ 08865 Warren County

CLIENT:

NORWESCAP 350 Marshall Street Phillipsburg, NJ 08865

ARCHITECT

BEN HORTEN architecture & design 312 State Route 10, Randolph, NJ 07869 Tel: 973.442.5880 Fax: 973.442.5886

CONSULTANT

Issues and Revisions table with columns: No., Date, Issues and Revisions, By, Check. Row 1: 05/17/24, ISSUE FOR BID, SA, BH.

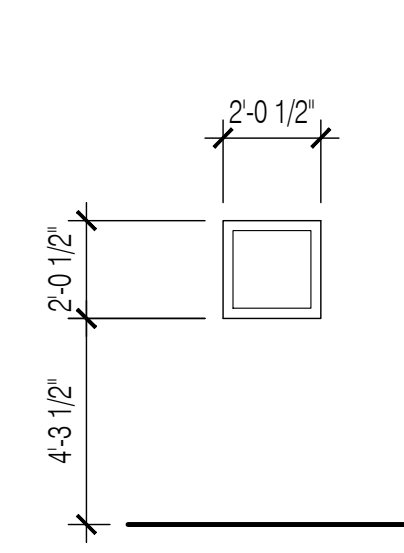
Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

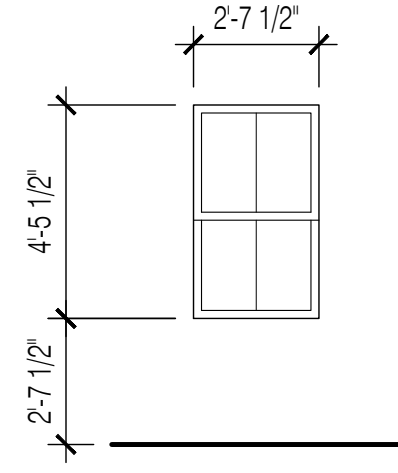
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Computer File: P:\22163 Norwescap Sullivan Bldg 371 S. Main St. Phillipsburg\drawings\06 CD Update\A0.10 Door Schedule.dwg

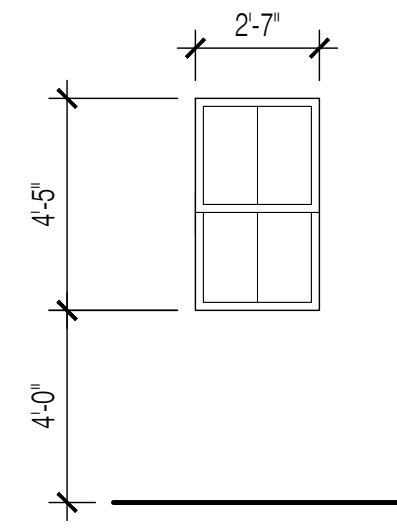
WINDOW TYPES:



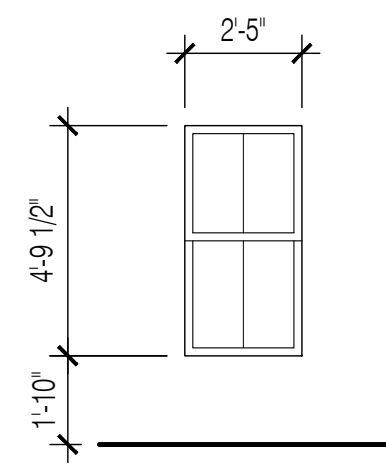
TYPE: W-1  
EXISTING WINDOW TO BE REPLACED.  
GC TO VIF EXACT SIZE.



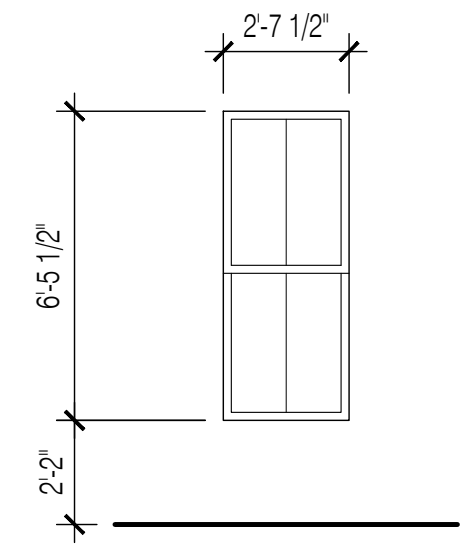
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GC TO VIF EXACT SIZE.



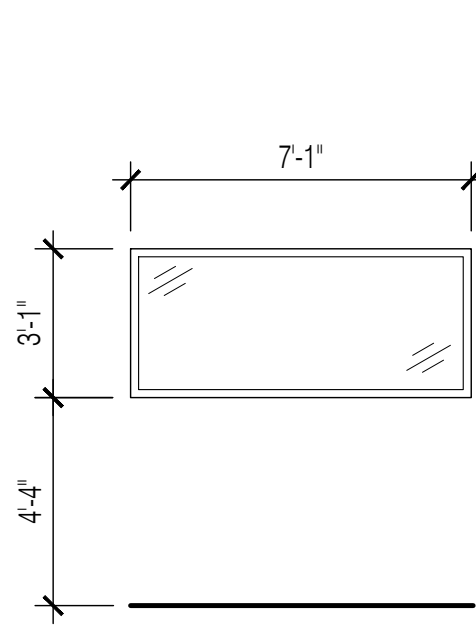
TYPE: W-3



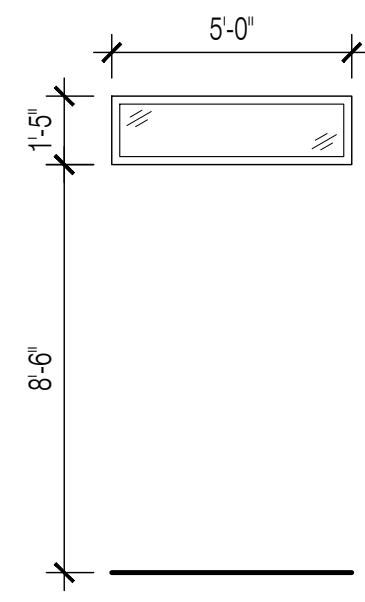
TYPE: W-4  
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GC TO VIF EXACT SIZE.



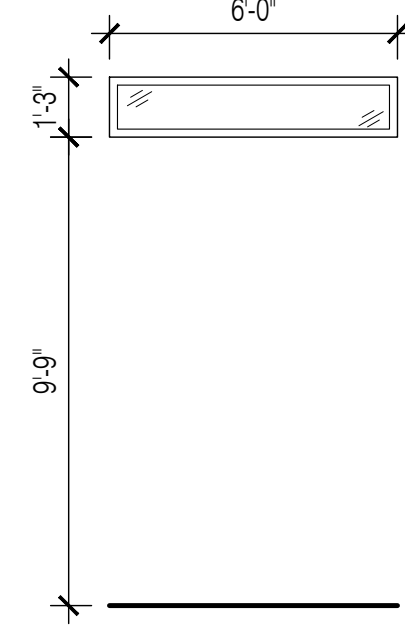
TYPE: W-5  
EXISTING WINDOW TO BE REPLACED.  
GC TO VIF EXACT SIZE.



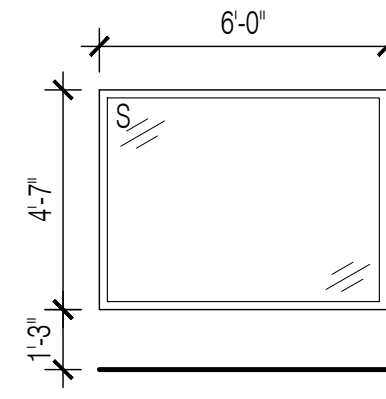
TYPE: W-6  
EXISTING WINDOW TO BE REPLACED.  
GC TO VIF EXACT SIZE.



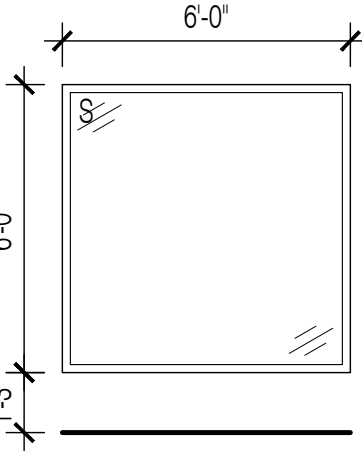
TYPE: W-7



TYPE: W-8



TYPE: W-9



TYPE: W-10

WINDOW SCHEDULE:

WINDOW NUMBER	TYPE	WIDTH	HEIGHT	REMARKS
---------------	------	-------	--------	---------

FIRST FLOOR

101	W-7	-	-	-
102	W-8	-	-	-
103	W-10	-	-	-
104	W-8	-	-	-
105	W-10	-	-	-
106	W-8	-	-	-
107	W-10	-	-	-
108	W-8	-	-	-
109	W-10	-	-	-
110	W-8	-	-	-
111	W-10	-	-	-
112	W-8	-	-	-
113	W-10	-	-	-
114	W-6	-	-	-
115	W-9	-	-	-
116	W-9	-	-	-
117	W-9	-	-	-

SECOND FLOOR

201	W-5	-	-	-
202	W-5	-	-	-
203	W-5	-	-	-
204	W-5	-	-	-
205	W-5	-	-	-
206	W-5	-	-	-
207	W-3	-	-	-
208	W-4	-	-	-
209	W-4	-	-	-
210	W-4	-	-	-
211	W-4	-	-	-

THIRD FLOOR

301	W-2	-	-	-
302	W-2	-	-	-
303	W-2	-	-	-
304	W-2	-	-	-
305	W-2	-	-	-
306	W-2	-	-	-
307	W-2	-	-	-
308	W-1	-	-	-

NOTE: OTHER THAN WINDOW-207  
ALL WINDOWS IN 2ND & 3RD FLOOR ARE ALT. BID ITEM.  
SEE ALT. BID NOTES ON A2.01 FOR DETAILS.

GENERAL NOTES:

- REFER TO SHS MANUAL & SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- PROVIDE SHOP DWG FOR REVIEW AND APPROVAL.

WINDOW DESIGN BASE:

- EXTERIOR WINDOWS
  - DESIGN BASIS PRODUCT: ANDERSEN 400 SERIES
  - ASSEMBLY U-FACTOR MAX.
    - OPERABLE WINDOW: 0.45
    - FIXED WINDOW: 0.36
  - ASSEMBLY SHGC MAX.
    - OPERABLE WINDOW: 0.33
    - FIXED WINDOW: 0.38
  - MIN. VT/SHGC: 1.10
- GLAZING
  - MIN. DOUBLE PANE W/ LOW-E COATING
  - PROVIDE SAFETY GLAZING IN OPERABLE LEAF & ADJ. WITHIN 24"
  - PROVIDE SAFETY GLAZING WHERE NOTED 'S'

PROJECT

Norwescap  
Old Sullivan Building  
Remodeling Project

PROJECT LOCATION

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Warren County

CLIENT:

**NORWESCAP**  
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CONSULTANT

Issues and Revisions

No.	Date	Issues and Revisions	By	Check
1.	05/17/24	ISSUE FOR BID	SA	BH

Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
WINDOW TYPES & SCHEDULE

Computer File:  
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Phillipsburg\drawings\06 CD Update\A0.11 Window  
Schedule.dwg

A0.11

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# Norwescap Old Sullivan Building Remodeling Project

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### PLUMBING FIXTURES:

1. FIXTURE CALCULATIONS BELOW ARE PER TABLE 7.21.1 OF NSPC 2021 AS REQUIRED BY NJAC 5:23-6.14 & NJAC 5:23-6.17
  2. PLUMBING OCC. LOAD
    - 2.1. RESTAURANT: 43 FOR EACH GENDER (126 / 3 X 1/2 = 42.33)
    - 2.2. 2ND & 3RD FLOOR OFFICE: 19 FOR EACH GENDER (56 / 3 X 1/2 = 18.33)
  3. WATER CLOSET(WC) & LAVATORY(LAV) PER NSPC 2021 TABLE 7.21.1
    - 3.1. REQUIRED
      - RESTAURANT: (0.84) WC & (0.84) LAV FOR EACH GENDER
      - 2ND & 3RD FLOOR OFFICE: (1.09) WC & (1.09) LAV FOR EACH GENDER
      - OVERALL: (2) WC & (2) LAV EACH GENDER
    - 3.2. PROVIDED
      - 1ST FLOOR: (3) UNISEX INDIVIDUAL USE TOILET ROOMS
      - 2ND FLOOR: (2) UNISEX INDIVIDUAL USE TOILET ROOMS
      - OVERALL: (5) UNISEX INDIVIDUAL USE TOILET ROOMS, COMPLIES
- NOTE: OCCUPANTS IN 3RD FLOOR USE TOILET ROOMS IN 2ND FLOOR & OCCUPANTS IN 2ND FLOOR USE 1ST & 2ND FLOOR TOILET ROOMS.
4. SERVICE SINK
    - REQUIRED: (1) PER FLOOR
    - PROVIDED: (1) EXISTING IN FIRST FLOOR TO REMAIN AND TO SERVE ENTIRE BUILDING

### CODE ANALYSIS:

1. CAPACITY OF MEANS OF EGRESS PER NJAC 5:23-6.11 (b)
  - PROVIDED: TWO EGRESS DOORS, 326 (=163 +163)
  - NO RESTRICTION ON OCCUPANT LOAD IS REQUIRED
2. NUMBER OF EXIT PER NJAC 5:23-6.14
  - REQUIRED: TWO FOR STORIES WITH LESS THAN 500 OCCUPANTS.
  - PROVIDED: TWO, COMPLIES
3. VERTICAL OPENING PROTECTION
  - REQUIRED: 30 MIN-UFC FIRE BARRIER FOR OPENING NOT EXCEEDING 3 STORIES
  - PROVIDED: 1 HR RATED STAIR ENCLOSURE BETWEEN 1ST & 2ND FLOOR, COMPLIES

### FIRST FLOOR AREA & OCCUPANT LOAD:

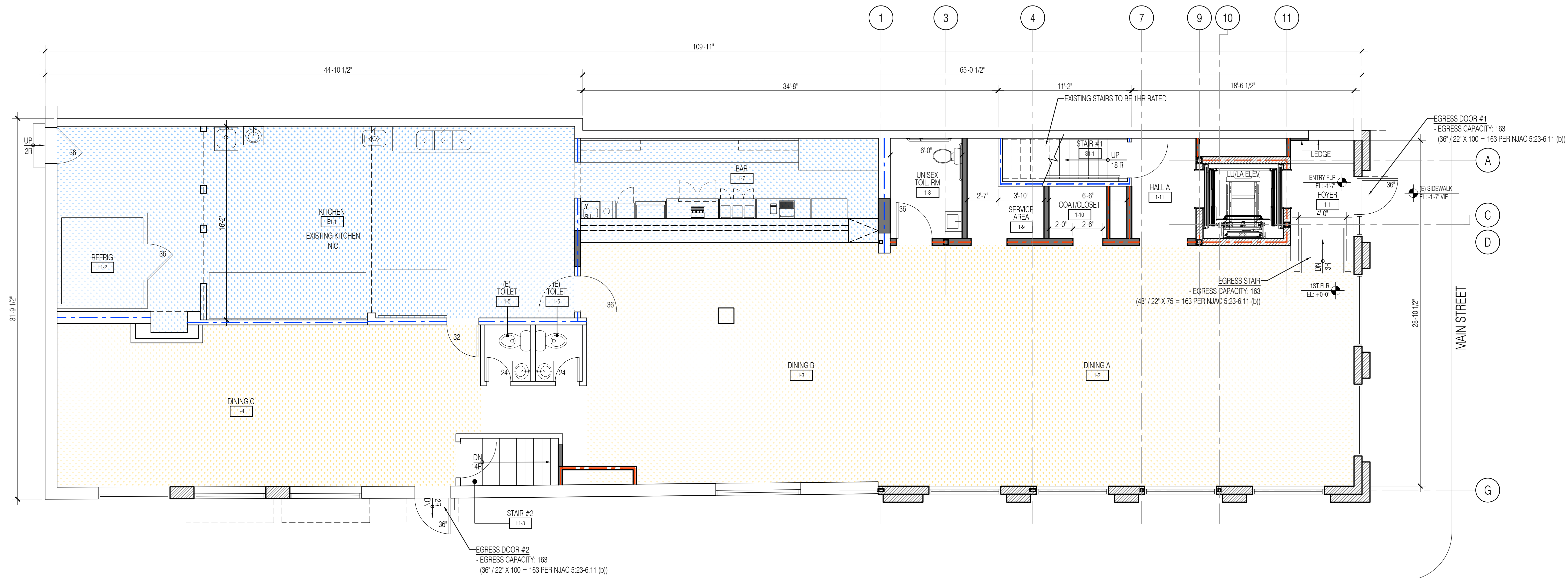
ROOM/SPACE	LOAD FACTOR	AREA	OCC. LOAD
DINING- A, B & C	15 NET	1,770 SF	118.00
KITCHEN & BAR	200 GROSS	913 SF	4.57
REST OF SPACE	150 GROSS	465 SF	3.10
1ST FLOOR TOTAL		3,148 SF	126 (125.67)

### GENERAL NOTES:

1. THIS DRAWING IS FOR REFERENCE ONLY TO SHOW EGRESS PLAN. NOT FOR CONSTRUCTION.

### LEGEND:

1 HR RATED WALL. REFER TO A0.06 FOR DETAILS.



No.	Date	Issues and Revisions	By	Check
1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
PROPOSED FIRST FLOOR REFERENCE EGRESS PLAN

Computer File:  
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Phillipsburg\drawings\06 CD Update\A1.01 1st Flr Ref  
Egress.dwg

# A1.01

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# Norwescap Old Sullivan Building Remodeling Project

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 LOT: BLOCK:  
 371 S Main Street  
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CLIENT:  
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 Tel: 973.442.5880 Fax: 973.442.5886

CONSULTANT

**PLUMBING FIXTURES:**

1. FIXTURE CALCULATIONS BELOW ARE PER TABLE 7.21.1 OF NSPC 2021 AS REQUIRED BY NJAC 5:23-6.14 & NJAC 5:23-6.17
2. WATER CLOSET(WC) & LAVATORY(LAV) PER NSPC 2021 TABLE 7.21.1  
 - SEE A1.01 FOR CALC.
3. DRINKING WATER FACILITY  
 - (1) KITCHEN SINK TO SERVE 2ND & 3RD FLOOR OFFICE SPACE.

**CODE ANALYSIS:**

1. CAPACITY OF MEANS OF EGRESS PER NJAC 5:23-6.11 (b)  
 - PROVIDED: A EGRESS STAIR WITH CAPACITY OF 134 & FIRE ESCAPE  
 - NO RESTRICTION ON OCCUPANT LOAD IS REQUIRED
2. NUMBER OF EXIT PER NJAC 5:23-6.17  
 - REQUIRED: ONE WHERE OCCUPANT LOAD IS LESS THAN 50 & EXIT ACCESS TRAVEL DISTANCE IS LESS THAN 75 FT.  
 - PROVIDED: ONE EXIT ACCESS DOOR AND EXISTING FIRE ESCAPE. COMPLIES
3. VERTICAL OPENING PROTECTION  
 - REQUIRED: 30 MIN-UFC FIRE BARRIER FOR OPENING NOT EXCEEDING 3 STORIES  
 - PROVIDED: STAIR BETWEEN FIRST AND SECOND FLOOR IS PROTECTED WITH 1HR RATED ASSEMBLIES. STAIR CONNECTING SECOND AND THIRD FLOOR TO STAY OPEN PER IBC 712.1.9 TWO-STORY OPENINGS AND NJAC 5:23-6.17 (j) 3. I. AS BOTH 2ND & 3RD FLOOR ARE LESS THAN 3,000 SF.

**2ND FLOOR AREA & OCCUPANT LOAD:**

ROOM/SPACE	LOAD FACTOR	AREA	OCC. LOAD
OFFICE	150 GROSS	1,773	12(11.82)

**3RD FLOOR AREA & OCCUPANT LOAD:**

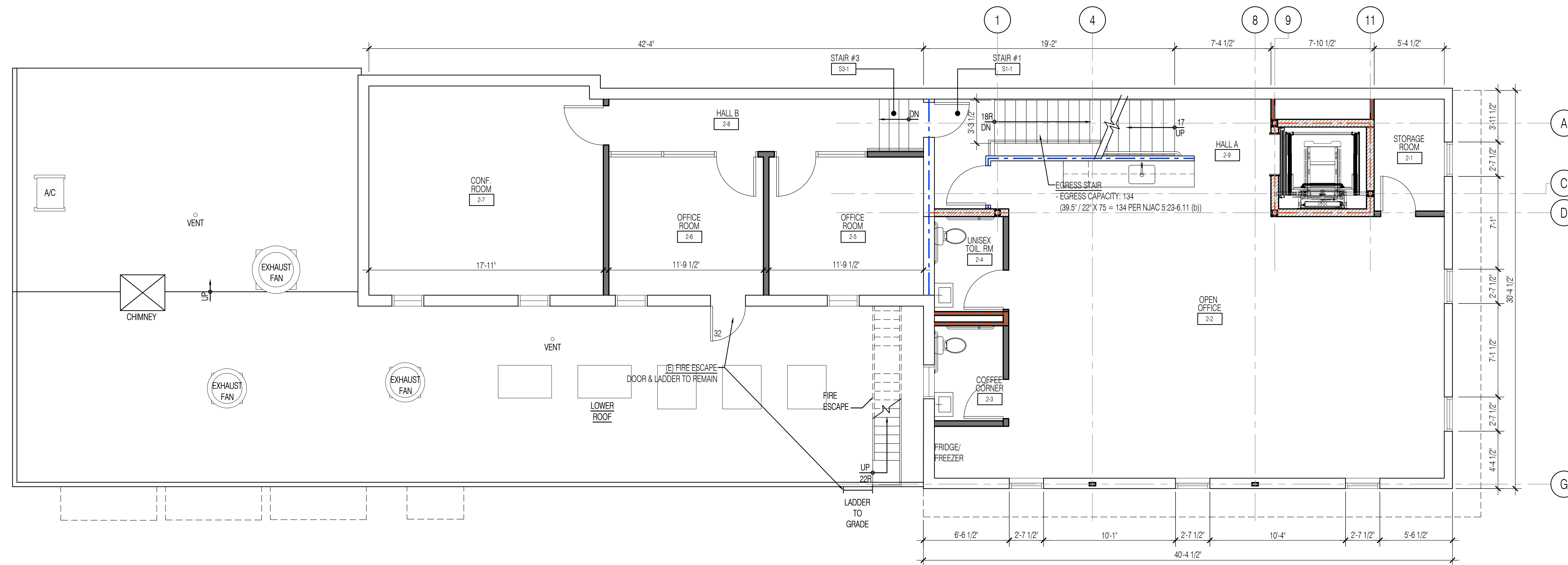
ROOM/SPACE	LOAD FACTOR	AREA	OCC. LOAD
MEETING ROOM	15 NET	605 SF	40.34
REST OF OFFICE	150 GROSS	374 SF	2.50
<b>2ND FLOOR TOTAL</b>		<b>979 SF</b>	<b>43(42.84)</b>

**GENERAL NOTES:**

1. THIS DRAWING IS FOR REFERENCE ONLY TO SHOW EGRESS PLAN. NOT FOR CONSTRUCTION.

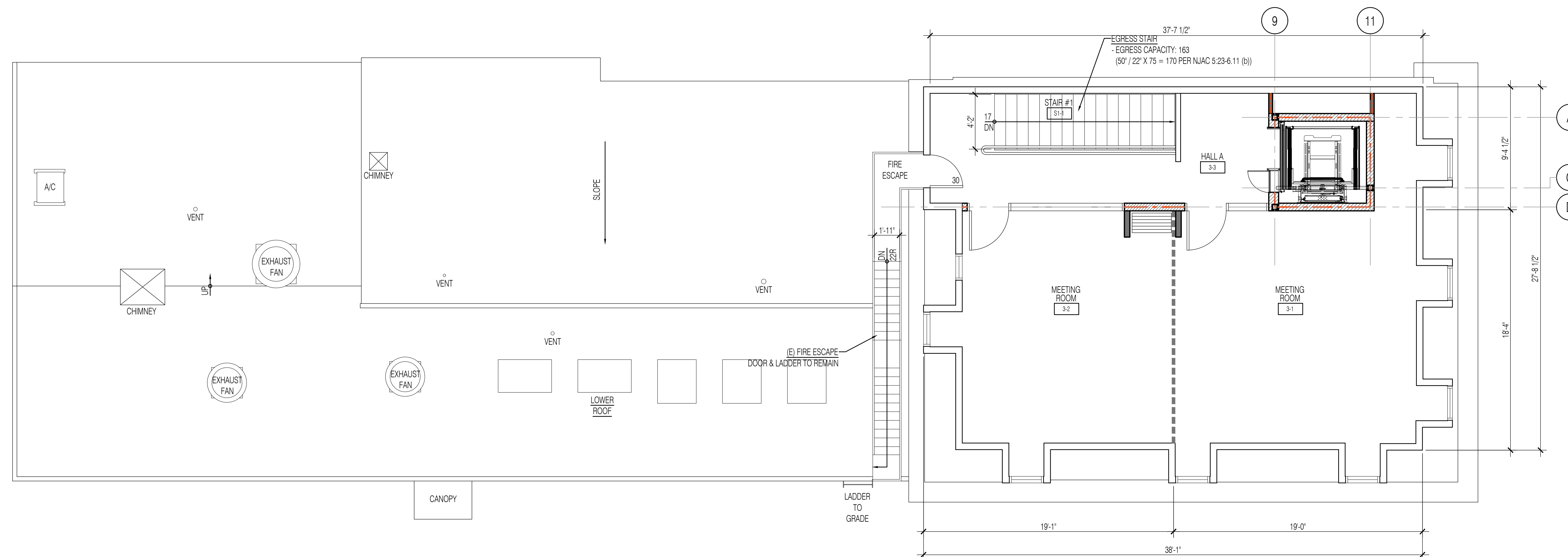
**LEGEND:**

--- 1 HR RATED WALL. REFER TO A0.06 FOR DETAILS.



**1 PROPOSED SECOND FLOOR REFERENCE EGRESS PLAN**

SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)



**1 PROPOSED THIRD FLOOR REFERENCE EGRESS PLAN**

SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)

No.	Date	Issues and Revisions	By	Check
1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

Registration and Signature

Benjamin J. Horten NJ License No: A115794

Drawing Description:  
 PROPOSED SECOND & THIRD FLOOR REFERENCE EGRESS PLAN

Computer File:  
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**A1.02**

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PROJECT

# Norwescap Old Sullivan Building Remodeling Project

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LOT: BLOCK:  
371 S Main Street  
Phillipsburg, NJ 08865  
Warren County

CLIENT

**NORWESCAP**  
350 Marshall Street  
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ARCHITECT

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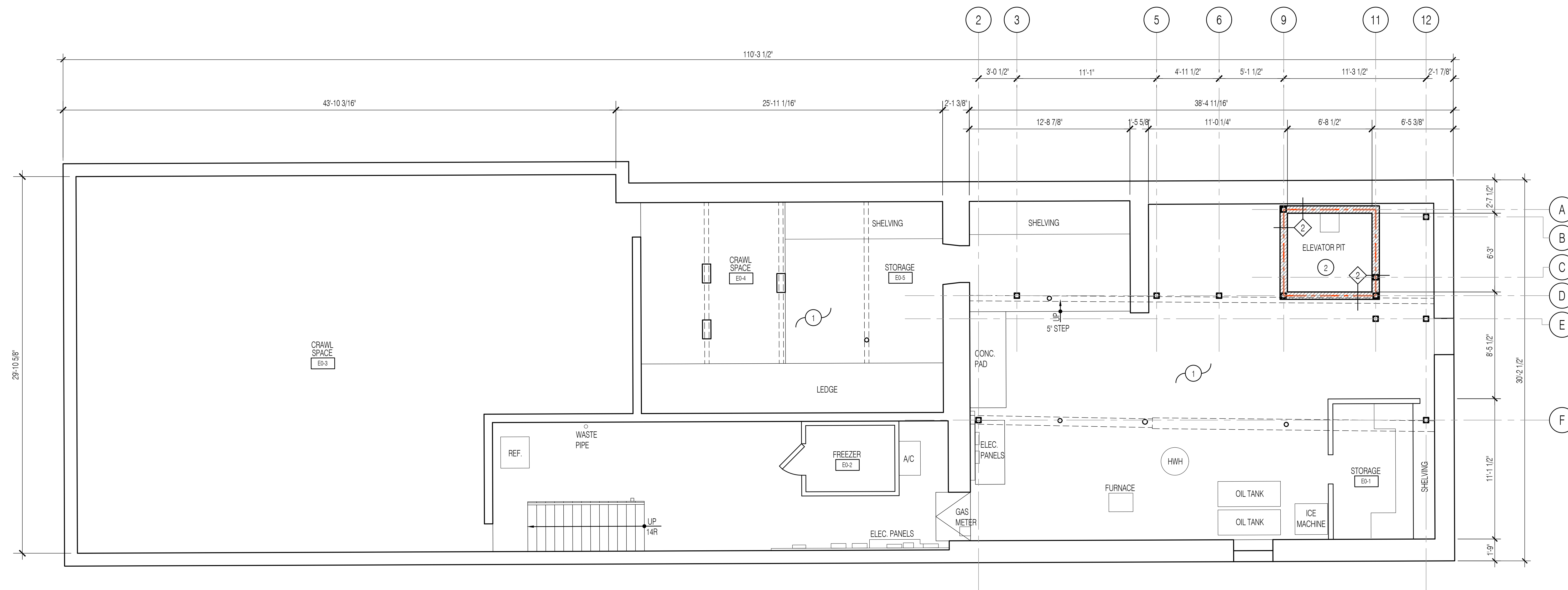
CONSULTANT

### KEY NOTES:

- SCOPE OF WORK IN BASEMENT INCLUDES NEW ELEVATOR SHAFT/PIT, NEW COLUMNS & FOUNDATIONS, 1ST FLOOR/BASEMENT CEILING ASSEMBLY FIRE PROTECTION, AND PROPOSED MEP WORK ONLY. COORDINATE STRUCTURAL & MEP DWG FOR PROPOSED WORK. UNLESS OTHERWISE NOTED, EXISTING CONDITION TO REMAIN.  
  
1ST FLOOR/BASEMENT CEILING ASSEMBLY TO BE 1HR RATED. EITHER FLOOR/CEILING ASSEMBLY #1/A0.07 WITH HARDWOOD FLOORING OR FLOOR/CEILING ASSEMBLY #2/A0.07 WITH LVT FLOORING IS APPLICABLE. GC TO COORDINATE FINAL ASSEMBLY SELECTION WITH FINAL FLOORING FINISH SELECTION BY OWNER IN FIELD.
- PROVIDE SUMP PUMP W/ PREFAB SUMP PUMP BASIN. COORDINATE DETAILS W/ A9.01 & MEP DWG AS REQUIRED.

### GENERAL NOTES:

- REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.02.
- NOTE THAT DIMENSIONS SHOWN ON PLAN MAY NOT REPRESENT ACTUAL CONDITION. GC TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO WORK.
- FOR ALL STRUCTURAL REQUIREMENTS REFER TO STRUCTURAL DRAWINGS. ALL STRUCTURAL STEEL COLUMNS & BEAMS TO BE 1 HR FIRE RATED W/ INTUMESCENT COATING UNLESS OTHERWISE NOTED. REFER TO DETAIL-8 & 9 ON A0.06.
- FOR ALL MECHANICAL, PLUMBING, & ELECTRICAL REQUIREMENTS REFER TO MEP DRAWINGS.
- SEE A0.06 FOR INTERIOR WALL PARTITION DETAILS, A0.07 FOR FLOOR ASSEMBLY DETAILS.



### LEGEND:

- EXISTING WALL TO REMAIN
- NEW WALL
- NEW DOOR
- EXISTING DOOR TO REMAIN

Issues and Revisions				
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1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
PROPOSED BASEMENT FLOOR PLAN

Computer File:  
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Phillipsburg\drawings\06 CD Update\A2.00 B Fir-CN.dwg

# A2.00

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# Norwescap Old Sullivan Building Remodeling Project

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LOT: BLOCK:  
371 S Main Street  
Phillipsburg, NJ 08865  
Warren County

CLIENT:

**NORWESCAP**  
350 Marshall Street  
Phillipsburg, NJ 08865

ARCHITECT



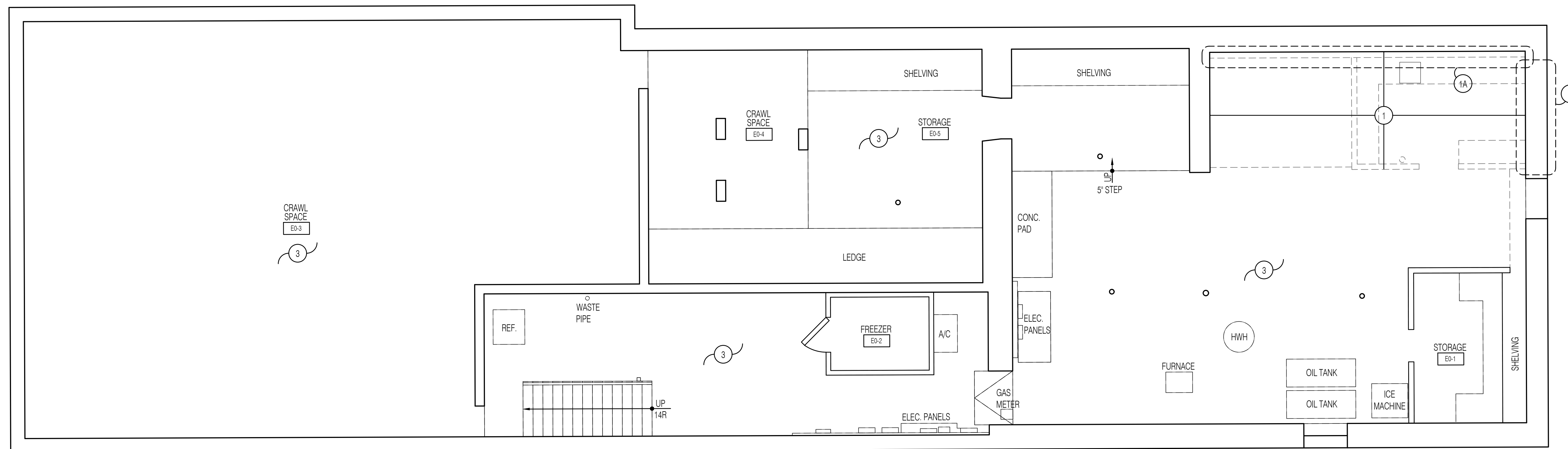
CONSULTANT

**KEY NOTES:**

- 1 EXISTING STORAGE ROOM TO BE REMOVED IN ITS ENTIRETY TO RECEIVE NEW ELEVATOR. COORDINATE EXTENT OF DEMOLITION WITH STRUCTURAL DRAWINGS AS WELL. COORDINATE NEW SUMP PUMP BASIN LOCATION IN PROPOSED ELEVATOR SHAFT/PIIT W/ A9.01 & MEP DWG.
- 1A REMOVE WALL AGAINST FOUNDATION WALL. EXISTING FOUNDATION WALL LOCATION IS UNKNOWN. GC TO VERIFY IF EXISTING FOUNDATION WALL HAS CONFLICT WITH PROPOSED SHAFT WALL. IF DEMOLITION OF FOUNDATION WALL IS REQUIRED, REPORT ARCHITECT & STRUCTURAL ENGINEER FOR FURTHER INSTRUCTIONS.
- 2 PART OF EXISTING FOUNDATION WALL TO BE LOWERED TO ACCOMMODATE 1ST FLOOR DEPRESSION. COORDINATE EXTENT OF DEMOLITION WITH PROPOSED NEW 1ST FLOOR PLAN AND STRUCTURAL DRAWING.
- 3 COORDINATE DEMOLITION WORK WITH PROPOSED CONSTRUCTION PLAN, STRUCTURAL DRAWINGS, & MEP DRAWINGS. UNLESS OTHERWISE NOTED, EXISTING CONDITION TO REMAIN.

**GENERAL DEMOLITION NOTES:**

- 1. COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
- 2. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
- 3. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- 4. ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND STUB OFF. NOTIFY THE AFFECTED UTILITY CO. AND BLDG. MGR. IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THIS WORK.
- 5. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- 6. COORDINATE WITH CLIENT ALL ITEMS REQUIRED FOR SALVAGING PRIOR TO DEMOLITION.
- 7. HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION, AND DETERMINE WHETHER ANY COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO E.P.A. STANDARDS) PRIOR TO DEMOLITION.
- 8. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
- 9. PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARD RAILS AS REQ'D BY APPLICABLE REGULATORY ADVISORY TO PROTECT OCCUPANTS OF BLDG., WORKERS, AND PEDESTRIANS.
- 10. MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES DURING DEMOLITION.
- 11. DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE FUTURE NEW WORK. PROTECT EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS.
- 12. PROTECT ALL EXISTING PROPERTY SUCH AS FINISHES, FURNITURE, APPLIANCES ETC AS NECESSARY DURING CONSTRUCTION. COORDINATE WITH OWNER THE EXTENT AND METHOD TO BE USED.
- 13. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE, OR INJURY.
- 14. CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- 15. DEMOLITION OF ITEMS ABOVE CEILING SHALL BE COORDINATED W/ FUTURE WORK. DO NOT REMOVE ANY ITEMS UNLESS INSTRUCTED BY OWNER & HAS BEEN DETERMINED TO BE NOT REQUIRED.
- 16. EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. IMMEDIATELY REMOVE FROM SITE.
- 17. ANY ITEMS UNWANTED BY OWNER TO BE DISCARDED BY CONTRACTOR.
- 18. REMOVE WASTE MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE IN A CONDITION ACCEPTABLE TO THE OWNER.
- 19. WHERE WALLS ARE DEMOLISHED, SALVAGE WALL BASE DEEMED IN GOOD CONDITION FOR RE-USE
- 20. WHEREVER WALLS ARE DEMOLISHED, PATCH AND REPAIR ADJACENT WALLS, FLOORS, AND OTHER SURFACES. PREP TO RECEIVE FINISH IF REQUIRED
- 21. REFER TO CONSTRUCTION PLAN AND CEILING PLAN FOR EXTENT OF NEW WORK TO COORDINATE PORTIONS TO BE DEMOLISHED.



**LEGEND:**

- EXISTING WALL TO REMAIN
- - - EXISTING WALL TO BE REMOVED
- - - - DASHED LINE INDICATES EXISTING TO BE REMOVED
- EXISTING DOOR TO REMAIN
- - - EXISTING DOOR TO BE REMOVED

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Drawing Description:  
PROPOSED BASEMENT FLOOR DEMO PLAN

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# A2.00-1

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# 1 PROPOSED BASEMENT FLOOR DEMO PLAN

SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)

**WINDOW ALT. BID NOTES:**

NOTE: GC TO INCLUDE PRICING FOR ITEMS BELOW AS A SEPARATE LINE ITEM IN BID.

- BASE BID:
  - ALL EXTERIOR WINDOWS IN FIRST FLOOR ARE NEW.
  - INCLUDE WINDOW-207 IN 2ND FLOOR IN BASE BID.
  - OTHER THAN WINDOW-207 ALL EXTERIOR WINDOWS IN 2ND & 3RD FLOOR TO REMAIN. GC TO INVESTIGATE EXISTING WINDOW CONDITION AND INCLUDE REPAIR COST ONLY.
- ALTERNATE BID:
  - OTHER THAN WINDOW-207 ALL EXTERIOR WINDOWS IN 2ND & 3RD FLOOR TO BE REPLACED WITH NEW TO MATCH EXISTING. DESIGN BASIS PRODUCT: ANDERSEN 400 SERIES. VIF EXISTING SIZE.
  - ALT. BID TO INCLUDE COST RELATED TO REPLACEMENT OF WINDOWS IN 2ND & 3RD FLOOR ONLY.

**FIRE RATED FLOOR/CEILING ASSEMBLY NOTES**

- 1ST FLOOR/BASEMENT CEILING ASSEMBLY
  - OPTION #1 W/ HARDWOOD FLOORING: ASSEMBLY-1/A0.07.
  - OPTION #2 W/ LVT FLOORING: ASSEMBLY-2/A0.07.
- 2ND AND 3RD FLOOR/CEILING ASSEMBLY: ASSEMBLY-2/A0.07.
- GABLE ROOF/CEILING ASSEMBLY: ASSEMBLY-3/A0.07.
- FLAT ROOF/CEILING ASSEMBLY: ASSEMBLY-4/A0.07.
- ELEVATOR SHAFT CEILING: ASSEMBLY-6/A0.07.
- WHERE WOOD STRUCTURAL MEMBERS PENETRATE SHAFT ENCLOSURE, SEAL ALL GAPS WITH HILTI FS-ONE MAX INTUMESCENT FORESTOP SEALANT. [ENGINEERING JUDGEMENT BY HILTI DWG # 557741a]

**INSULATION NOTES:**

- EXTERIOR WALL PER NJAC 5:23-6.7. (e) 15.
  - FILL ALL EXPOSED EXTERIOR WALL CAVITY WITH FIBERGLASS BATT INSULATION
  - FIBERGLASS BATT TO BE PINK NEXT GEN FIBERGLAS BY OWENS CORNING OR APPROVE EQUAL.
  - KRAFT FACING TO FACE INTERIOR SIDE
- 3RD FLOOR DOUBLE WALL PER NJAC 5:23-6.7. (e) 15.
  - PROVIDE R-13 FIBERGLASS BATT INSULATION IN OUTSIDE WALL CAVITY
  - FIBERGLASS BATT TO BE PINK NEXT GEN FIBERGLAS BY OWENS CORNING OR APPROVE EQUAL.
  - NO FACING REQUIRED.
- GABLE ROOF PER NJAC 5:23-6.7. (e) 15.
  - EXTERIOR STUD WALL, TYP.
  - FIBERGLASS BATT TO BE PINK NEXT GEN FIBERGLAS BY OWENS CORNING OR APPROVE EQUAL.
  - NO FACING REQUIRED.
- LOW SLOPE ROOF PER NJAC 5:23-6.7. (e) 15.
  - 5.1. ROOF OVER EXISTING KITCHEN
    - WHERE SPACE ALLOWS, PROVIDE R-49 FIBERGLASS BATT INSULATION
    - WHERE ATTIC HEIGHT IS LESS THAN 14', FILL SPACE WITH FIBERGLASS BATT INSULATION.
    - FIBERGLASS BATT TO BE PINK NEXT GEN FIBERGLAS BY OWENS CORNING OR APPROVE EQUAL.
    - NO FACING REQUIRED.
  - 5.2. OTHER THAN ROOF OVER EXISTING KITCHEN
    - FILL SPACE BTW RAFTERS WITH FIBERGLASS BATT INSULATION.
    - FIBERGLASS BATT TO BE PINK NEXT GEN FIBERGLAS BY OWENS CORNING OR APPROVE EQUAL.
    - NO FACING REQUIRED.

**KEY NOTES:**

- INFILL EXISTING OPENING TO MATCH ADJACENT WALL.
- EXISTING STAIRS TO REMAIN. REPAIR TO MAKE IT WORKING CONDITION. EXISTING ENCLOSURE WALLS AND STAIR STRUCTURE TO BE 1HR FIRE RATED.
  - WALL: GC TO VERIFY EXISTING GYP. BD. IS 5/8" THK. REFER TO DET#6/A0.06. IF SO, IT IS 1HR RATED. FILL CAVITY INTERSECTING WALL AND FLOOR ASSEMBLY WITH 2X BLOCKINGS. OTHERWISE, EXISTING CONDITION TO REMAIN.
  - STAIR: PROVIDE (2) LAYERS OF TYPE-X GYP. BD. AT BOTTOM OF STAIR. REFER TO DET#5/A0.07.
  - HANDRAIL: REMOVE EXISTING HANDRAIL AND PROVIDE NEW WALL MOUNTED HANDRAIL ON ONE SIDE OF WALL FOR FULL LENGTH OF STAIR AT 36" AFF. HANDRAIL TO BE STEEL SUPPORTS WITH WOOD HANDRAIL BAR. DESIGN TBD.
- EXISTING INTERIOR PARTITION REQUIRED TO BE 1HR FIRE RATED, TYP. GC TO VERIFY EXISTING GYP. BD. IS 5/8" THK. REFER TO DET#6/A0.06. IF SO, IT IS 1HR RATED. NOTHING TO DO. IF NOT, REMOVE EXISTING GYP. BD. AND PROVIDE 5/8" TYPE-X GYP. BD. PER DET#3/A0.06.
- EXTERIOR STUD WALL, TYP. REMOVED EXISTING GYP. BD. AND PROVIDE NEW 5/8" TYPE-X GYP. BD. TO COMPLY WITH 1HR FIRE RATING REQUIREMENTS PER UL 1556.
- EXISTING KITCHEN COORDINATE KEY NOTE #2 ON A2.01-1. PROVIDE (2) LAYER OF TYPE-X GYP. BD. PER DETAIL #3 ON A0.07 IF APPLICABLE. ALL EXISTING CONDITION TO BE RESTORED AFTER CEILING WORK.

**GENERAL NOTES:**

- REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.02.
- NOTE THAT DIMENSIONS SHOWN ON PLAN MAY NOT REPRESENT ACTUAL CONDITION. GC TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO WORK.
- NOTE THAT SCOPE OF WORK INCLUDES EXTENSIVE AMOUNT OF FRAMING REPAIR/ REINFORCEMENT. GC TO INVESTIGATE EXISTING CONDITION AND INCLUDE ALL NECESSARY REPAIR WORK IN THE BID IN ADDITION TO WHAT IS IN STRUCTURAL DWG.
- FOR ALL STRUCTURAL REQUIREMENTS REFER TO STRUCTURAL DRAWINGS. ALL STRUCTURAL STEEL COLUMNS & BEAMS TO BE 1 HR FIRE RATED W/ INTUMESCENT COATING UNLESS OTHERWISE NOTED. REFER TO DETAIL-8 & 9 ON A0.06.
- ALL EXTERIOR & INTERIOR LOAD BEARING WALLS ARE TO BE 1HR FIRE RATED. REFER TO A0.06 FOR INTERIOR WALL DETAILS AND A5.11 FOR TYP. EXTERIOR WALL CONSTRUCTION DETAILS.
- FOR ALL MECHANICAL, PLUMBING, & ELECTRICAL REQUIREMENTS REFER TO MEP DRAWINGS.
- ALL EXTERIOR WINDOWS IN 2ND & 3RD FLOOR TO REMAIN. GC TO PROVIDE COST TO REPLACE THEM AS ALT. BID ITEM. REFER TO WINDOW ALT. BID NOTES ON THIS SEET.
- SEE A0.06 FOR INTERIOR WALL PARTITION DETAILS, A0.07 FOR FLOOR ASSEMBLY DETAILS.
- SEE A0.10 FOR ALL DOOR & WINDOW DETAILS.
- SEE A1.01 FOR FINISH REQUIREMENTS.

PROJECT

**Norwescap  
Old Sullivan Building  
Remodeling Project**

PROJECT LOCATION

LOT: **371 S Main Street  
Phillipsburg, NJ 08865  
Warren County**

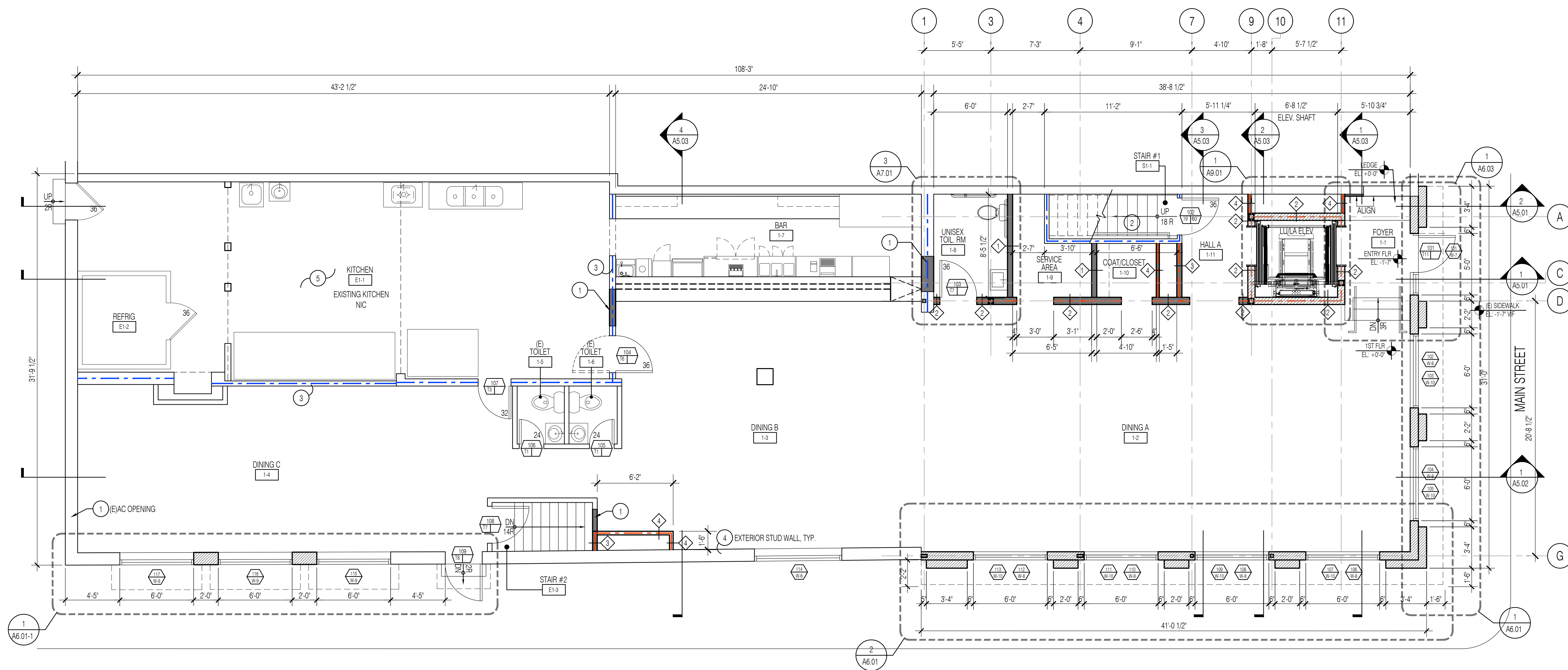
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ARCHITECT

**B HORTEN**  
architecture & design  
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CONSULTANT



**LEGEND:**

- INDICATES 1HR FIRE RATED WALL
- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING WALL REQUIRED 1HR FIRE RATING SEE KEY NOTE #4 FOR PROPOSED WORK.
- NEW DOOR
- EXISTING DOOR TO REMAIN

No.	Date	Issues and Revisions	By	Check
1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
PROPOSED FIRST FLOOR PLAN

Computer File:  
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**A2.01**

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**1 PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)



# Norwescap Old Sullivan Building Remodeling Project

PROJECT LOCATION

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371 S Main Street  
Phillipsburg, NJ 08865  
Warren County

CLIENT:

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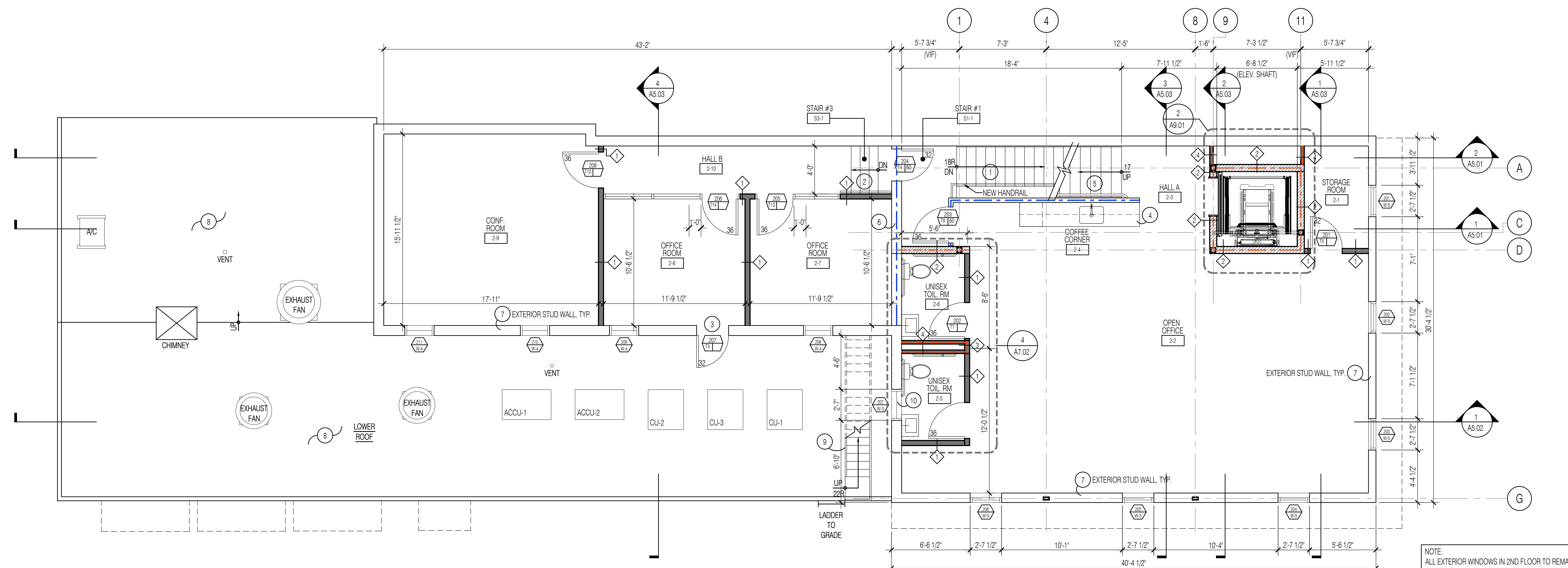
CONSULTANT

**KEY NOTES:**

- 1 EXISTING STAIRS CONNECTING 1ST AND 2ND FLOOR TO REMAIN. REPAIR TO MAKE IT WORKING CONDITION. EXISTING ENCLOSURE WALLS AND STAIR STRUCTURE TO BE 1HR FIRE RATED.  
- WALL: GC TO VERIFY EXISTING GYP. BD. IS 5/8" THK. REFER TO DET#6/A0.06.  
IF SO, IT IS 1HR RATED. FILL CAVITY INTERSECTING WALL AND FLOOR ASSEMBLY WITH 2X BLOCKINGS, OTHERWISE, EXISTING CONDITION TO REMAIN.  
IF NOT, REMOVE EXISTING GYP. BD. AND PROVIDE NEW 5/8" THK. TYPE-X GYP. BD. PER DET#3/A0.06. STAIR: PROVIDE (2) LAYERS OF TYPE-X GYP. BD. AT BOTTOM OF STAIR. REFER TO DET#5/A0.07.  
- HANDRAIL: REMOVE EXISTING HANDRAIL AND PROVIDE NEW WALL MOUNTED HANDRAIL ON ONE SIDE OF WALL FOR FULL LENGTH OF STAIR AT 36" AFF. HANDRAIL TO BE STEEL SUPPORTS WITH WOOD HANDRAIL BAR. DESIGN TBD.
- 2 EXISTING STAIRS TO REMAIN. MAKE EXISTING STAIR WIDER TO ACCOMMODATE ENLARGED CORRIDOR WIDTH.
- 3 EXISTING DOOR TO BE REPLACED WITH NEW. COORDINATE NEW DOOR SIZE WITH EXISTING OPENING SIZE IN FIELD.
- 4 NEW MILLWORK. REFER TO A8.01 FOR DETAILS.
- 5 STAIR & HANDRAIL GOING UP TO 3RD FLOOR. EXISTING STAIRS GOING UP TO 3RD FLOOR TO REMAIN. REPAIR ALL DAMAGES AND MAKE SURE THAT IT IS GOOD WORKING CONDITION. REMOVE EXISTING HANDRAIL AND PROVIDE NEW WALL MOUNTED HANDRAIL ON ONE SIDE OF WALL FOR FULL LENGTH OF STAIR AT 36" AFF. HANDRAIL TO BE STEEL SUPPORTS WITH WOOD HANDRAIL BAR. DESIGN TBD.
- 6 EXISTING INTERIOR PARTITION REQUIRED TO BE 1HR FIRE RATED. TYP GC TO VERIFY EXISTING GYP. BD. IS 5/8" THK. REFER TO DET#6/A0.06. IF SO, IT IS 1HR RATED. NOTHING TO DO. IF NOT, REMOVE EXISTING GYP. BD. AND PROVIDE 5/8" TYPE-X GYP. BD. PER DET#3/A0.06.
- 7 EXTERIOR STUD WALL, TYP. REMOVED EXISTING GYP. BD. AND PROVIDE NEW 5/8" TYPE-X GYP. BD. TO COMPLY WITH 1HR FIRE RATING REQUIREMENTS PER UL U356.
- 8 EXISTING ROOF & ROOFING TO REMAIN. REFER TO A2.04 FOR ADDITIONAL NOTES.
- 9 EXISTING FIRE ESCAPE TO REMAIN.
- 10 MODIFY EXISTING OPENING TO RECEIVE NEW SMALLER WINDOW. SAME WIDTH BUT SILL HEIGHT TO BE RAISED UP. REFER TO A0.11 FOR NEW WINDOW DETAILS. PROVIDE PRIVACY FILM. DESIGN BASIS PRODUCT: 3M FROSTED CRYSTAL FILM.

**GENERAL NOTES:**

1. REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.02.
2. NOTE THAT DIMENSIONS SHOWN ON PLAN MAY NOT REPRESENT ACTUAL CONDITION. GC TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO WORK.
3. NOTE THAT SCOPE OF WORK INCLUDES EXTENSIVE AMOUNT OF FRAMING REPAIR/ REINFORCEMENT. GC TO INVESTIGATE EXISTING CONDITION AND INCLUDE ALL NECESSARY REPAIR WORK IN THE BID IN ADDITION TO WHAT IS IN STRUCTURAL DWG.
4. FOR ALL STRUCTURAL REQUIREMENTS REFER TO STRUCTURAL DRAWINGS. ALL STRUCTURAL STEEL COLUMNS & BEAMS TO BE 1 HR FIRE RATED W/ INTUMESCENT COATING UNLESS OTHERWISE NOTED. REFER TO DETAIL-8 & 9 ON A0.06.
5. ALL EXTERIOR & INTERIOR LOAD BEARING WALLS ARE TO BE 1HR FIRE RATED. REFER TO A0.06 FOR INTERIOR WALL PARTITION DETAILS. A0.07 FOR FLOOR ASSEMBLY CONSTRUCTION DETAILS.
6. FOR ALL MECHANICAL, PLUMBING, & ELECTRICAL REQUIREMENTS REFER TO MEP DRAWINGS.
7. ALL EXTERIOR WINDOWS IN 2ND & 3RD FLOOR TO REMAIN. GC TO PROVIDE COST TO REPLACE THEM AS ALT. BID ITEM. REFER TO WINDOW ALT. BID NOTES ON A2.01.
8. SEE A0.06 FOR INTERIOR WALL PARTITION DETAILS. A0.07 FOR FLOOR ASSEMBLY DETAILS.
9. SEE A0.10 FOR ALL DOOR & WINDOW DETAILS.
10. SEE A1.01 FOR FINISH REQUIREMENTS.



**LEGEND:**

- INDICATES 1HR FIRE RATED WALL
- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING WALL REQUIRED 1HR FIRE RATING SEE KEY NOTE #6 FOR PROPOSED WORK.
- NEW DOOR
- EXISTING DOOR TO REMAIN

**Issues and Revisions**

No.	Date	Issues and Revisions	By	Check
1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
PROPOSED SECOND FLOOR PLAN

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**A2.02**

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**1 PROPOSED SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)

**KEY NOTES:**

- 1 EXISTING ARCHITECTURAL FEATURES ON 1ST FLOOR TO BE REMOVED AS SHOWN. COORDINATE EXTENT OF DEMOLITION WORK WITH PROPOSED CONSTRUCTION PLAN.
- 2 EXISTING INTERIOR BEARING WALL AND STAIR ENCLOSURE WALL. GC TO VERIFY IF EXISTING GYP. BD. IS 5/8" THK. EXISTING 5/8" GYP. BD. TO REMAIN. IF EXISTING GYP. BD. IS LESS THAN 5/8" THK. REMOVE ALL GYP. BD. TO RECEIVE NEW 5/8" TYPE-X GYP. BD.
- 3 ALL EXTER BEARING WALL TO BE UPGRADED TO 1HR FIRE RATED WALL. REMOVE EXISTING INTERIOR GYP. BD. TO RECEIVE NEW TYPE-X GYP. BD.
- 4 PROPOSED NEW SHAFT OPENING LOCATION. COORDINATE EXACT LOCATION & SIZE WITH ELEVATOR MFG'S SPEC AND MECHANICAL DESIGN AS REQUIRED.
- 5 EXISTING STAIRS TO REMAIN AND WILL GET WIDER. REPAIR ANY DAMAGES AND PREP SURFACE TO RECEIVE PROPOSED MODIFICATION.

**GENERAL NOTES:**

1. REFER TO A2.00-1 FOR ALL DEMOLITION NOTES.

PROJECT

**Norwescap  
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Remodeling Project**

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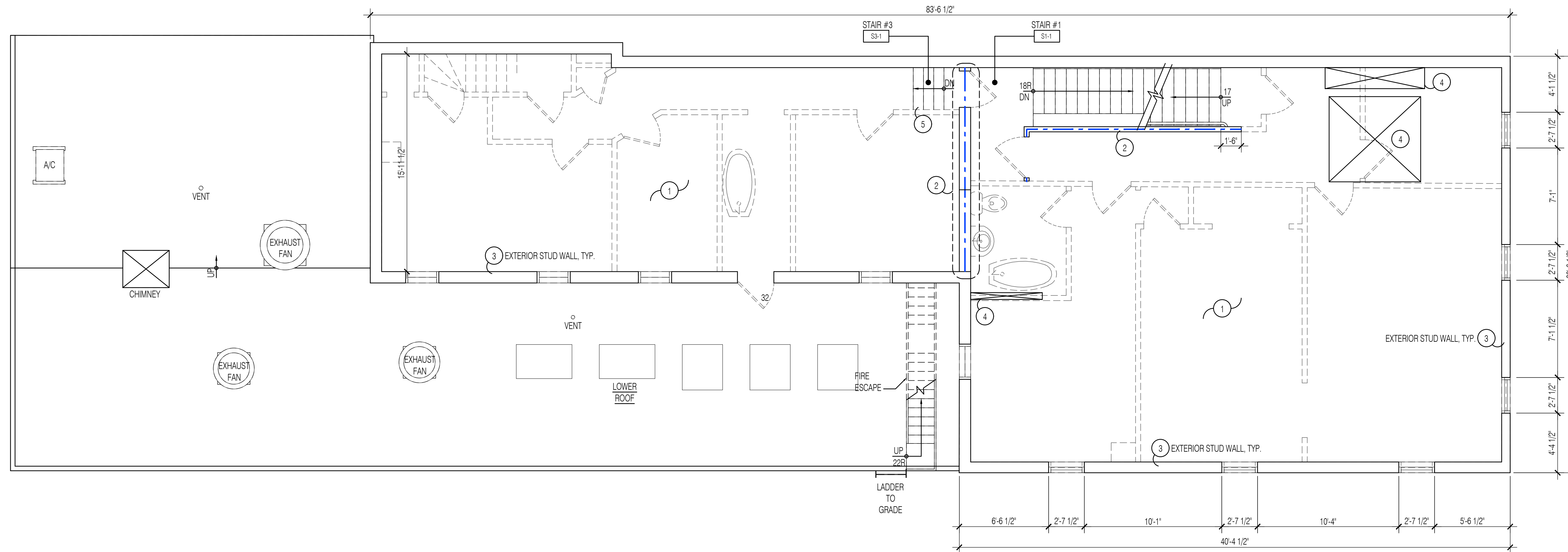
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CONSULTANT



**LEGEND:**

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- DASHED LINE INDICATES EXISTING TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED

Issues and Revisions				
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Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
PROPOSED SECOND FLOOR DEMO PLAN

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**A2.02-1**

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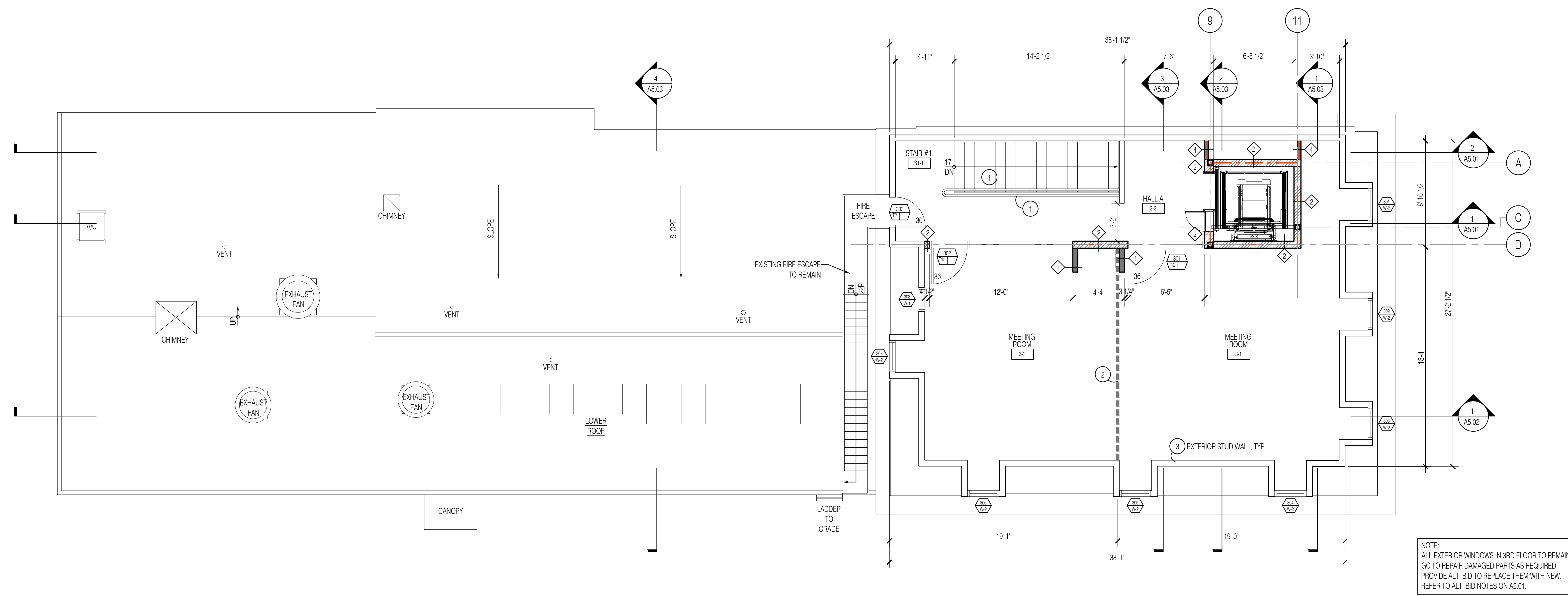
CONSULTANT

**KEY NOTES:**

- 1 STAIR & HANDRAIL: EXISTING STAIRS GOING UP TO 3RD FLOOR TO REMAIN. REPAIR ALL DAMAGES AND MAKE SURE THAT IT IS GOOD WORKING CONDITION. REMOVE EXISTING HANDRAIL AND PROVIDE NEW WALL MOUNTED HANDRAIL ON ONE SIDE OF WALL FOR FULL LENGTH OF STAIR AT 36" AFF. HANDRAIL TO BE STEEL SUPPORTS WITH WOOD HANDRAIL BAR. DESIGN TBD.
- 2 FOLDING PARTITION: PROVIDE FOLDING PARTITION AND GUARD RAIL AS SHOWN. DESIGN BASIS PRODUCT TO BE ACOUSTI-SEAL PREMIER SINGLE PANEL SYSTEM WITH 47 STC. COORDINATE RAILING INSTALLATION DETAILS WITH MANUFACTURERS SPECIFICATIONS. REFER TO STRUCTURAL DWG FOR SUPPORTING STRUCTURE INFO.
- 3 EXTERIOR STUD WALL, TYP. REMOVED EXISTING GYP. BD. AND PROVIDE NEW 5/8" TYPE-X GYP. BD. TO COMPLY WITH 1HR FIRE RATING REQUIREMENTS PER UL U356.

**GENERAL NOTES:**

1. REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.02.
2. NOTE THAT DIMENSIONS SHOWN ON PLAN MAY NOT REPRESENT ACTUAL CONDITION. GC TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO WORK.
3. NOTE THAT SCOPE OF WORK INCLUDES EXTENSIVE AMOUNT OF FRAMING REPAIR/ REINFORCEMENT. GC TO INVESTIGATE EXISTING CONDITION AND INCLUDE ALL NECESSARY REPAIR WORK IN THE BID IN ADDITION TO WHAT IS IN STRUCTURAL DWG.
4. FOR ALL STRUCTURAL REQUIREMENTS REFER TO STRUCTURAL DRAWINGS. ALL STRUCTURAL STEEL COLUMNS & BEAMS TO BE 1 HR FIRE RATED W/ INTUMESCENT COATING UNLESS OTHERWISE NOTED. REFER TO DETAIL-8 & 9 ON A0.06.
5. ALL EXTERIOR & INTERIOR LOAD BEARING WALLS ARE TO BE 1HR FIRE RATED. REFER TO A0.06 FOR INTERIOR WALL PARTITION DETAILS AND A5.11 FOR TYP. EXTERIOR WALL CONSTRUCTION DETAILS.
6. FOR ALL MECHANICAL, PLUMBING, & ELECTRICAL REQUIREMENTS REFER TO MEP DRAWINGS.
7. ALL EXTERIOR WINDOWS IN 2ND & 3RD FLOOR TO REMAIN. GC TO PROVIDE COST TO REPLACE THEM AS ALT. BID ITEM. REFER TO WINDOW ALT. BID NOTES ON A2.01.
8. SEE A0.06 FOR INTERIOR WALL PARTITION DETAILS, A0.07 FOR FLOOR ASSEMBLY DETAILS.
9. SEE A0.10 FOR ALL DOOR & WINDOW DETAILS.
10. SEE A1.01 FOR FINISH REQUIREMENTS.



**LEGEND:**

- INDICATES 1HR FIRE RATED WALL
- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING WALL REQUIRED 1HR FIRE RATING SEE KEY NOTE #6 FOR PROPOSED WORK.
- NEW DOOR
- EXISTING DOOR TO REMAIN

No.	Date	Issues and Revisions	By	Check
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Drawing Description:  
PROPOSED THIRD FLOOR PLAN

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**A2.03**

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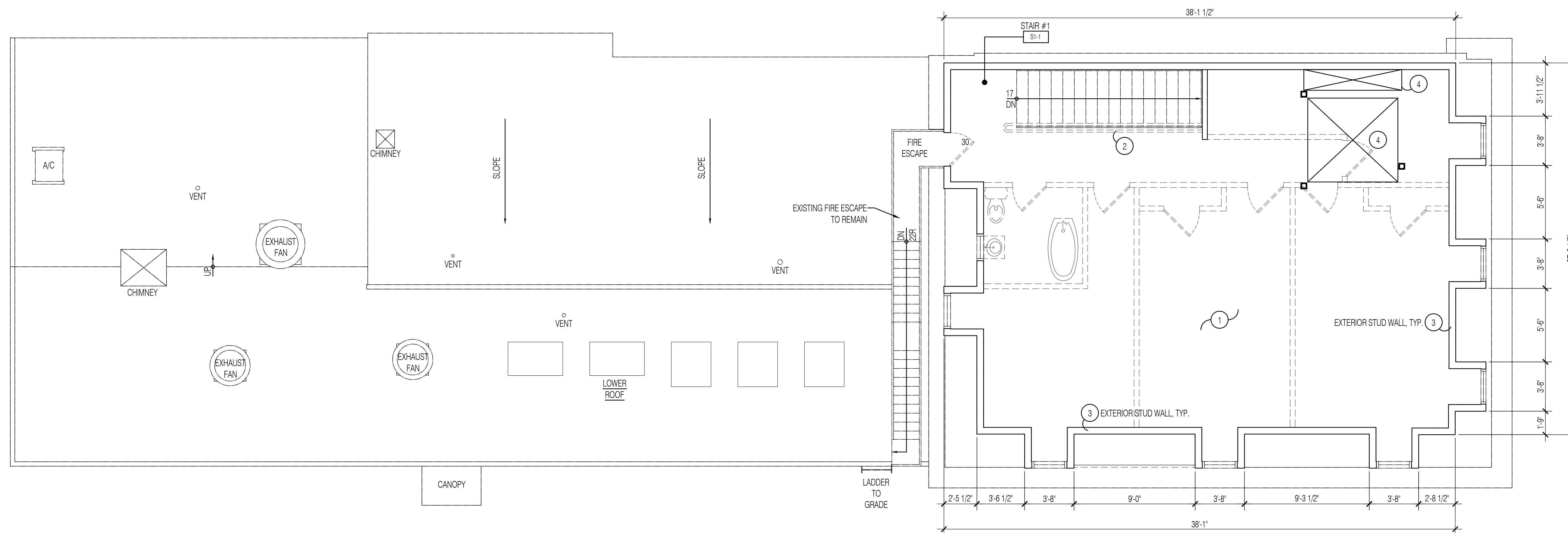
CONSULTANT

### KEY NOTES:

1. EXISTING ARCHITECTURAL FEATURES ON 1ST FLOOR TO BE REMOVED AS SHOWN. COORDINATE EXTENT OF DEMOLITION WORK WITH PROPOSED CONSTRUCTION PLAN.
2. EXISTING STAIR TO REMAIN. EXISTING HANDRAIL TO BE REMOVED.
3. ALL EXTER BEARING WALL TO BE UPGRADED TO 1HR FIRE RATED WALL. REMOVE EXISTING INTERIOR GYP. BD. TO RECEIVE NEW TYPE-X GYP. BD.
4. PROPOSED NEW SHAFT OPENING LOCATION. COORDINATE EXACT LOCATION & SIZE WITH ELEVATOR MFGS SPEC AND MECHANICAL DESIGN AS REQUIRED.

### GENERAL NOTES:

1. REFER TO A2.00-1 FOR ALL DEMOLITION NOTES.



### LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- DASHED LINE INDICATES EXISTING TO BE REMOVED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED

Issues and Revisions				
No.	Date	Issues and Revisions	By	Check
1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
PROPOSED THIRD FLOOR DEMO PLAN

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DEMO.dwg

# A2.03-1

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ARCHITECT  
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CONSULTANT

### ROOFING ALT. BID NOTES:

NOTE: GC TO INCLUDE PRICING FOR ITEMS LISTED BELOW AS A SEPARATE LINE ITEM IN BID.

- (A1) NEW ASPHALT SINGLE ROOFING.
  - BASE BID: EXISTING TO REMAIN.
  - ALT. BID: REMOVE EXISTING ASPHALT ROOFING & ROOFING FELT/MEMBRANE AND PROVIDE NEW ROOFINGS TO MATCH MAIN 3-STORY BUILDING ROOFING. REFER TO KEY NOTE #3 AND ROOFING NOTES ON THIS SHEET. REMOVE EXISTING GUTTER AND LEADER AND PROVIDE NEW TO MATCH EXISTING LAYOUT.
- (A2) NEW MEMBRANE ROOFING
  - BASE BID: EXISTING TO REMAIN.
  - ALT. BID: GC TO REMOVE EXISTING ROOFING & TAPERED INSULATION LAYER AND PROVIDE NEW TPO ROOFING W/ NEW TAPERED INSULATION BOARD.
  - DESIGN BASIS PRODUCT INFO
    - 60-MIL ULTRAPLY TPO BY ELEVATE W/ MIN. 25 YEARS WARRANTY. ADHERED WITH MFGS APPROVED BONDING ADHESIVE COVER BOARD (MECHANICALLY ATTACHED OR ADHERED).
    - TAPERED RIGID INSULATION (MIN. AVE. R-20) OVER (E) ROOF SHEATHING. (NOTE: APPROX. R-30 FRAME CAVITY IS INCLUDED IN BASE BID, R-20 CONTINUOUS INSULATION WOULD COMPLY WITH CURRENT ENERGY CODE)

### ROOFING NOTES:

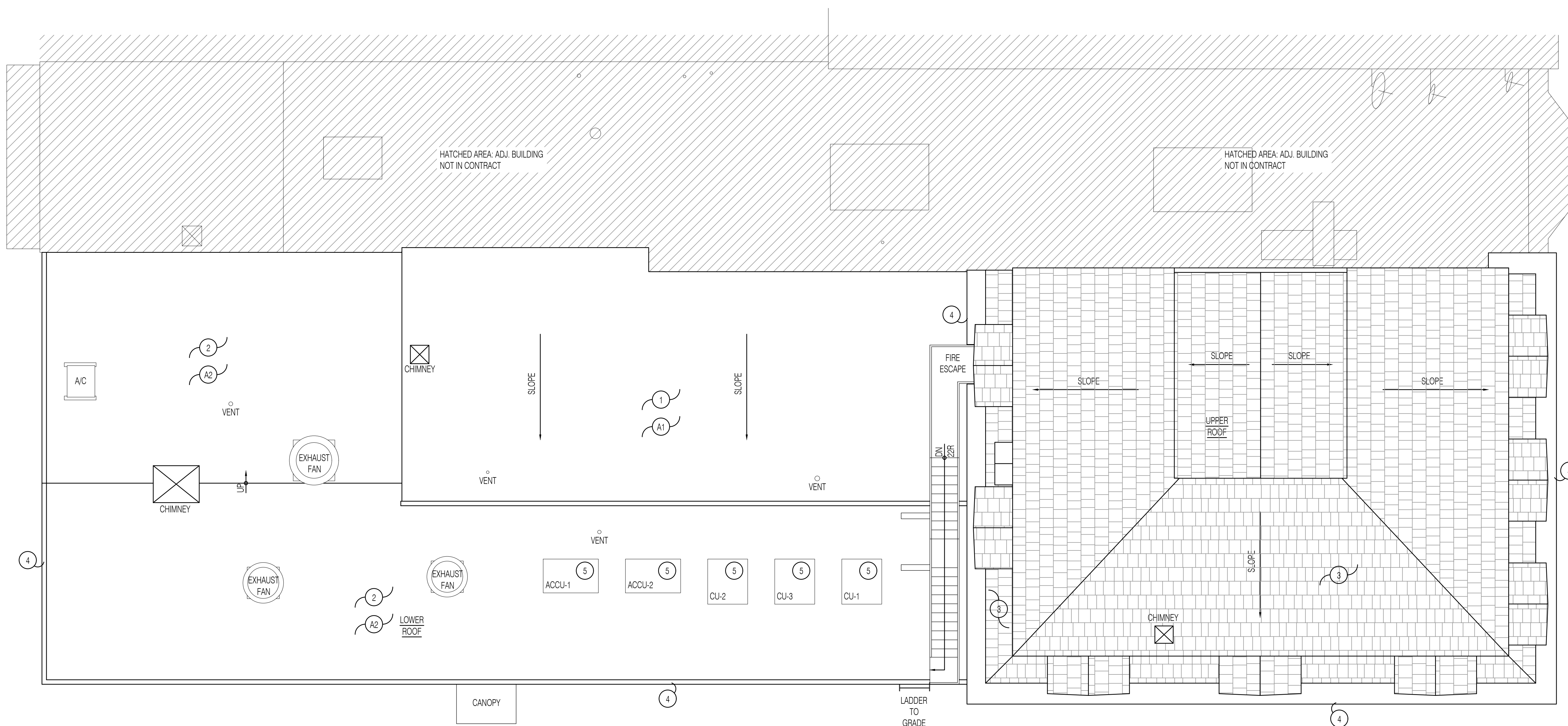
1. ASPHALT SINGLE ROOFING
  - 1.1. DESIGN BASIS PRODUCT
    - PRODUCT/MFG & COLOR: REFER TO A4.01
  - 1.2. REMOVE EXISTING ROOFING WITH FELT/ROOFING MEMBRANE ONLY. KEEP EXISTING ROOF SHEATHING.
  - 1.3. NEW ROOFING INCLUDES ROOFING FELT/ROOFING MEMBRANE, MIN. 3/8" ICE AND WATER SHIELD ON ROOF EDGES, VALLEYS, & SIDE WALLS.
2. STANDING SEAM METAL ROOFING
  - 1.1. DESIGN BASIS PRODUCT
    - PRODUCT: 1" FIELD LOK BY ATAS
    - COLOR: TBD
  - 1.2. PROVIDE ROOFING MEMBRANE LAYER AS REQUIRED BY MFGS SPEC.
3. ACCESSORIES
  - 3.1. PROVIDE ROOFING MANUFACTURER APPROVED FLASHING, CURB FLASHING, COUNTER FLASHING, ETC. AS REQUIRED PER MANUFACTURER'S SPECIFICATIONS. ALL FLASHING TO BE MIN. 0.040" THK. PRE-FINISHED ALUM. OR THICKER IF REQUIRED BY ROOFING MFGS SPECIFICATIONS.
  - 3.2. REMOVE ALL EXISTING GUTTER & DOWNSPOUT AND PROVIDE NEW PER NEW ROOFING MANUFACTURER'S SPECIFICATIONS. NEW GUTTER TO BE FABRICATED WITH MIN. 0.040" THK. PRE-FINISHED ALUM. BY ATAS OR APPROVED EQUAL. COLOR TO MATCH EXISTING. PROVIDE COLOR SAMPLE FOR REVIEW AND APPROVAL.

### KEY NOTES:

- (1) EXISTING ASPHALT SHINGLE ROOFING TO REMAIN. SEE ALT. BID NOTES FOR OPTIONAL NEW ROOFING OPTION.
- (2) EXISTING MEMBRANE ROOFING TO REMAIN. SEE ALT. BID NOTES FOR OPTIONAL NEW ROOFING OPTION.
- (3) PROVIDE NEW ASPHALT SHINGLE ROOFING IN 3-STORY BUILDING PORTION. COORDINATE ELEVATION FOR EXTENT OF ASPHALT SHINGLE AREA. REFER TO ROOFING NOTES FOR ADDITIONAL DETAILS.
- (4) REMOVE EXISTING GUTTER AND PROVIDE NEW BUILT-IN GUTTER. REFER TO A5.11 FOR DETAILS. LEADERS TO CONNECT TO EXISTING UNDER GROUND DRAINAGE SYSTEM. COORDINATE LEADER LINE ROUTING WITH EXTERIOR WALL SECTIONS.
- (5) PROVIDE NEW ASPHALT SHINGLE ROOFING IN 3-STORY BUILDING PORTION. COORDINATE ELEVATION FOR EXTENT OF ASPHALT SHINGLE AREA. REFER TO ROOFING NOTES FOR ADDITIONAL DETAILS.

### GENERAL NOTES:

1. REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.02.
2. NOTE THAT DIMENSIONS SHOWN ON PLAN MAY NOT REPRESENT ACTUAL CONDITION. GC TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO WORK.
3. NOTE THAT SCOPE OF WORK INCLUDES EXTENSIVE AMOUNT OF FRAMING REPAIR/ REINFORCEMENT. GC TO INVESTIGATE EXISTING CONDITION AND INCLUDE ALL NECESSARY REPAIR WORK IN THE BID IN ADDITION TO WHAT IS IN STRUCTURAL DWG.
4. FOR ALL STRUCTURAL REQUIREMENTS REFER TO STRUCTURAL DRAWINGS. ALL STRUCTURAL STEEL COLUMNS & BEAMS TO BE 1 HR FIRE RATED W/ INTUMESCENT COATING UNLESS OTHERWISE NOTED. REFER TO DETAIL-8 & 9 ON A0.06.
5. ALL EXTERIOR & INTERIOR LOAD BEARING WALLS ARE TO BE 1HR FIRE RATED. REFER TO A0.06 FOR INTERIOR WALL DETAILS AND A5.11 FOR TYP. EXTERIOR WALL CONSTRUCTION DETAILS.
6. FOR ALL MECHANICAL, PLUMBING, & ELECTRICAL REQUIREMENTS REFER TO MEP DRAWINGS.



### Issues and Revisions

No.	Date	Issues and Revisions	By	Check
1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

### Registration and Signature

Benjamin J. Horten NJ License No: AI 15794



Drawing Description:  
PROPOSED ROOF PLAN

Computer File:  
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Phillipsburg\drawings\06 CD Update\A2.04 Roof Plan CN.dwg

# A2.04

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**LEGEND:**

-  LED LINEAR SHOP LIGHT:  
ULINE: LINKABLE HANGING H-9955 45" L X 2.5" W
-  WALL MOUNTED EMERGENCY LIGHT  
SPEC TBD

**GENERAL NOTES:**

1. REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.02.
2. FOR ALL STRUCTURAL REQUIREMENTS REFER TO STRUCTURAL DRAWINGS.  
ALL STRUCTURAL STEEL COLUMNS & BEAMS TO BE 1 HR FIRE RATED W/ INTUMESCENT COATING UNLESS OTHERWISE NOTED. REFER TO DETAILS ON A0.08.
3. FOR ALL MECHANICAL, PLUMBING, & ELECTRICAL REQUIREMENTS REFER TO MEP DRAWINGS.
4. SEE A0.06 FOR INTERIOR WALL PARTITION DETAILS, A0.07 FOR FLOOR ASSEMBLY DETAILS, & A0.08 FOR STEEL PROTECTION DETAILS.
5. SEE A5.11 & A5.12 FOR EXTERIOR WALL DETAILS.
6. SEE A0.10 THRU A0.11-1 FOR ALL DOOR & WINDOW DETAILS.
7. NOTE: EXTERIOR DIMENSIONS INDICATES OUTSIDE FACE OF CMU OR SHEATHING.

PROJECT

## Norwescap Old Sullivan Building Remodeling Project

---

PROJECT LOCATION

LOT: BLOCK:

371 S Main Street  
Phillipsburg, NJ 08865  
Warren County

---


CLIENT:

### NORWESCAP

350 Marshall Street  
Phillipsburg, NJ 08865

---

ARCHITECT

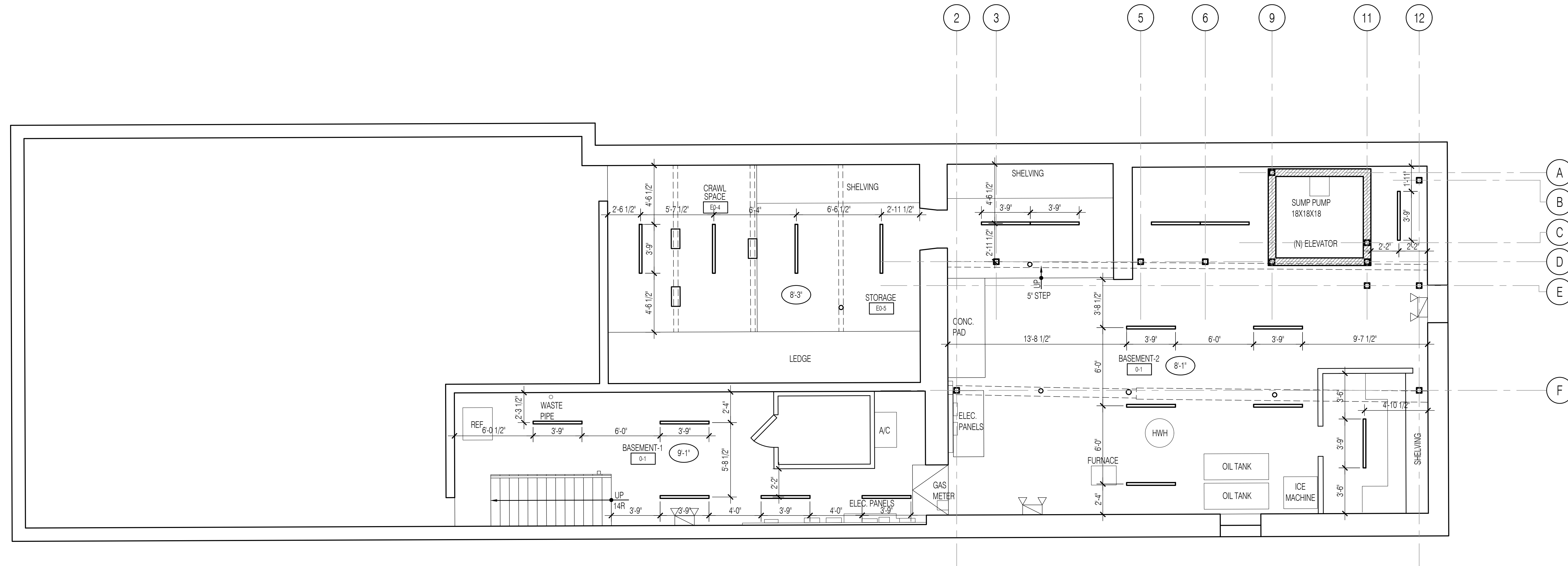


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CONSULTANT



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1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

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---

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
PROPOSED BASEMENT REFLECTED CEILING PLAN

---

Computer File:  
P:\22163 Norwescap Sullivan Bldg 371 S. Main St.  
Phillipsburg\drawings\06 CD Update\A3.00\_B Flr RCP.dwg

**LEGEND:**

- RECESSED CEILING LIGHT:  
LITON - CH4C20UE-D10\_CRALC30SW-B60-T35
- RECESSED EMERGENCY CEILING LIGHT:  
LITON - CH4C20UE-D10\_EM-CR4LC30SW-B60-T35
- RECESSED CEILING LIGHT:  
LITON - CH6C20UE-D10\_CR4LC40SW-B60-T35
- RECESSED EMERGENCY CEILING LIGHT:  
LITON - CH6C20UE-D10\_EM-CR4LC40SW-B60-T35
- ⊕ PENDANT DOWNLIGHT:  
LUMENS: TRINITY LED OVAL PENDANT
- 2x2 LED LIGHT FIXTURE:  
LIRON - FLB2-2X2-UW3CCT
- WALL SCENCE:  
ONESTO LIGHTING: ZENDA BRASS & OPAL WHITE 2.5' DIA
- ⊗ WALL SCENCE:  
VAXCEL LIGHTING: CHIASSO 2 LIGHT 14" TALL 5" DIA
- TRACK LIGHT:  
LITON - LTD8321B-T30
- ⊕ PENDANT DOWNLIGHT:  
ELKSDUT: PENDANT SPOTLIGHT MINI CHANDELIER 2.5'
- OUTDOOR WALL SCENCE:  
ACCESS LIGHTING: HAUS LED WALL SCENCE
- ⊗ OUTDOOR WALL SCENCE:  
CASCADIA CHIASSO 1-LIGHT 7.25-IN WARM BRASS
- ⊗ CEILING MTD. EXIT SIGN  
NICOR LIGHTING LED EMERGENCY EXIT SIGN EXL2-10UN-AL-CL-G-1
- - - COVE LIGHT: LED STRIP  
SPEC TBD
- CHANDELIER:  
ALORA LIGHTING TAGLIATO LP902004MBBG

**CEILING FINISH LEGEND:**

- ⬡ CT-1 CEILING SLATS MFG: ARMSTRONG  
STYLE: WOODWORKS SQUARE GRILLE  
REGULAR VERTICAL 15/16  
COLOR: RED OAK
- ⬡ GYP-1 GYP. BD. CEILING (2) LAYER OF TYPE-X GYP. BD. PER DET-2, 3, & 4 A0.07  
FINISH: SPRAY FADE DUO BY ECOPHON OR APPROVED EQUAL  
PER MFG'S SPECIFICATIONS.
- ⬡ 2X2 GRID & TILE TILE: ULTIMA LAY-IN BY ARMSTRONG OR APPROVED EQUAL  
GID: PRELUDE CL 15/16 BY ARMSTRONG OR APPROVED

**KEY NOTES:**

- 1 EXISTING KITCHEN: EXISTING CONDITION TO REMAIN. COORDINATE WITH KEY NOTE #5/A2.01.
- 2 DROPPED CEILING WITH DRYWALL GRID SYSTEM BY ARMSTRONG OR APPROVED EQUAL.  
PROVIDE KNIFE EDGE W/ COVE LIGHTING PER DETAIL #5/A0.06.
- 3 GC TO VERIFY FINAL SOFFIT WIDTH IN FIELD. CAREFULLY COORDINATE REFRIGERANT PIPES,  
VENT DUCT FROM 1ST FLOOR TOILET ROOM & DRAIN PIPE FROM 2ND FLOOR TOILET ROOM  
THAT USE PROPOSED SOFFIT SPACE IN FIELD AND DETERMINE FINAL SOFFIT WIDTH.  
COORDINATE ADJACENT CEILING LAYOUT, IF ANY CHANGES ARE MADE.
- 4 DECORATIVE DROPPED GYP. BD. SOFFIT: IN DINING-B, GYP. BD. SOFFITS INDICATED WITH KEY  
NOTE #4 MARKING ARE PROVIDED TO COVER STRUCTURAL BEAM. GC TO COORDINATE EXACT  
SIZE OF SOFFIT WITH STRUCTURAL MEMBER IN FIELD.  
OTHER SOFFITS IN DINING-B ARE DECORATIVE. MATCH SIZE THOSE WITH KEY NOTE #4  
MARKING.
- 5 DECORATIVE CROWN MOULDING

**GENERAL NOTES:**

1. REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
2. REVIEW ALL DRAWINGS IN THIS SET AND COORDINATE ALL WORK AS REQUIRED.
3. SEE MEP DRAWING FOR ALL FOR ALL MECHANICAL, PLUMBING, SPRINKLERS, FIRE ALARMS
4. PROVIDE EMERGENCY SIGNS & EM EXIT LIGHTS WHERE INDICATED ON PLAN. PROVIDE  
ADDITIONAL EXIT SIGNS & EM EXIT LIGHTS AS REQUIRED BY LOCAL OFFICIAL.
5. NEW CEILING GRIDS TO BE CENTERED

PROJECT

**Norwescap  
Old Sullivan Building  
Remodeling Project**

PROJECT LOCATION

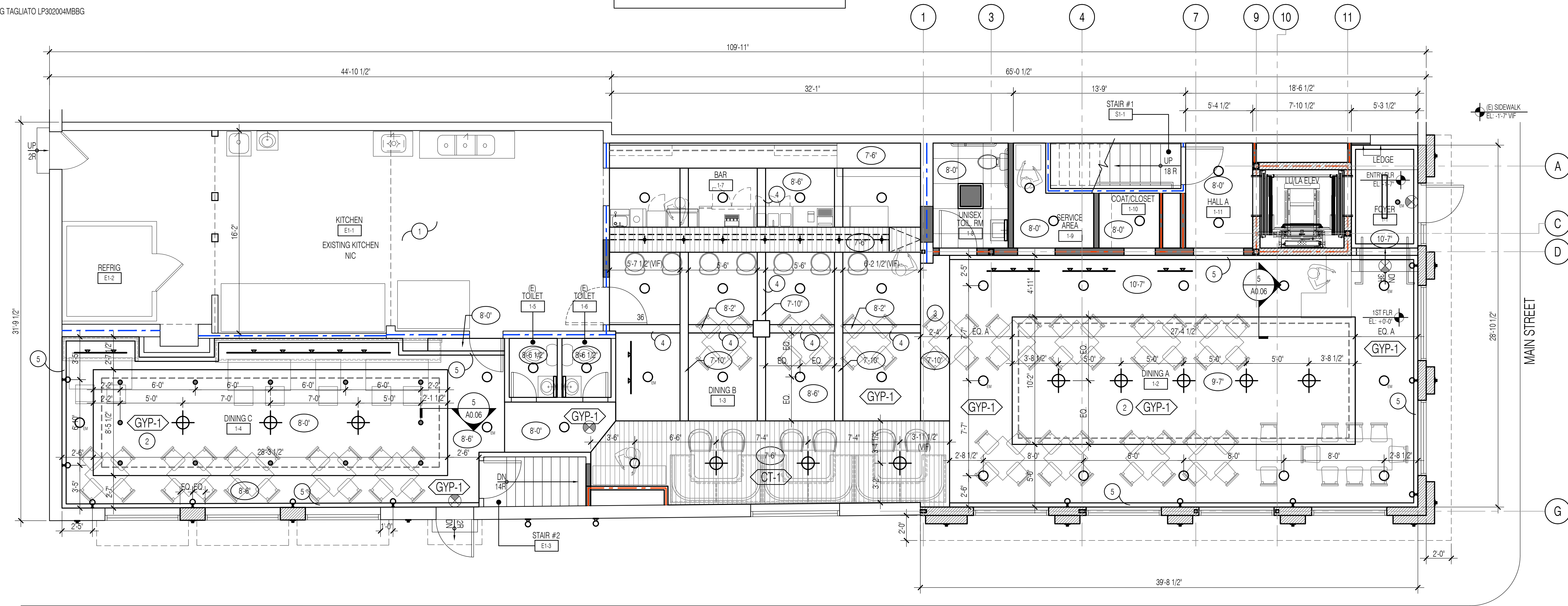
LOT: 371 S Main Street  
BLOCK: Phillipsburg, NJ 08865  
Warren County

CLIENT:  
**NORWESCAP**  
350 Marshall Street  
Phillipsburg, NJ 08865

ARCHITECT:  
**BEN HORTEN**  
architecture & design  
312 State Route 10, Randolph, NJ 07869  
Tel: 973.442.5880 Fax: 973.442.5886

CONSULTANT

NOTE:  
PIPES ASSOCIATED HVAC SYSTEM TO RUN BETWEEN JOISTS OR CEILING  
SPACE WHERE DROP CEILING IS PROVIDED. GC TO COORDINATE PIPE  
ROUTING CAREFULLY SO THAT NO PIPES ARE EXPOSED.



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1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
PROPOSED FIRST FLOOR REFLECTED CEILING PLAN

Computer File:  
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**A3.01**

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**1 PROPOSED FIRST FLOOR REFLECTED CEILING PLAN**  
SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)

**LEGEND:**

- RECESSED CEILING LIGHT:  
LITON - CH4C20UE-D10\_CR4LC30SW-B60-T35
- RECESSED EMERGENCY CEILING LIGHT:  
LITON - CH4C20UE-D10\_EM-CR4LC30SW-B60-T35
- RECESSED CEILING LIGHT:  
LITON - CH6C20UE-D10\_CR6LC40SW-B60-T35
- RECESSED EMERGENCY CEILING LIGHT:  
LITON - CH6C20UE-D10\_EM-CR6LC40SW-B60-T35
- ⊕ PENDANT DOWNLIGHT:  
LUMENS: TRINITY LED OVAL PENDANT
- 2x2 LED LIGHT FIXTURE:  
LIRON - FLB2-2X2-UW3CCT
- WALL SCONCE:  
ONESTO LIGHTING: ZENDA BRASS & OPAL WHITE 2.5" DIA
- ⊖ WALL SCONCE:  
VAXCEL LIGHTING: CHIASSO 2 LIGHT 14" TALL 5" DIA
- TRACK LIGHT:  
LITON - LTD8321B-T30
- LED RECESSED LINEAR LIGHT FIXTURE:  
DAY - PRFL24-D-FL-35-HO-4
- LED RECESSED LINEAR LIGHT FIXTURE:  
DAY - PRFL24-D-FL-35-HO-4-EMC7
- ⊕ PENDANT DOWNLIGHT:  
ELKSDUT: PENDANT SPOTLIGHT MINI CHANDELIER 2.5"
- ⊗ CEILING MTD. EXIT SIGN  
NICOR LIGHTING LED EMERGENCY EXIT SIGN EXL2-10UNV-AL-CL-G-1

**CEILING FINISH LEGEND:**

- ◁ CT-2 ▷ ACOUSTIC CEILING SLATS  
MFG: THE WOOD VENEER HUB  
COLOR: AMERICAN WALNUT  
SIZE: 94.49" X 12.60"  
FINISH: NATURAL
- ◁ GYP-1 ▷ GYP. BD. CEILING  
(2) LAYER OF TYPE-X GYP. BD. PER DET-2, 3, & 4/10.07  
FINISH: SPRAY FADE DUO BY ECOPHON OR APPROVED EQUAL  
PER MFG'S SPECIFICATIONS.
- 2X2 GRID & TILE  
TILE: ULTIMA LAY-IN BY ARMSTRONG OR APPROVED EQUAL  
GRID: PRELUDE CL 15/16 BY ARMSTRONG OR APPROVED

**KEY NOTES:**

- ① GC TO COORDINATE FINAL WIDTH OF SOFFIT WITH PROPOSED STRUCTURAL STEEL AND MECHANICAL DUCT IN FIELD.

**GENERAL NOTES:**

1. REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
2. REVIEW ALL DRAWINGS IN THIS SET AND COORDINATE ALL WORK AS REQUIRED.
3. SEE MEP DRAWING FOR ALL FOR ALL MECHANICAL, PLUMBING, SPRINKLERS, FIRE ALARMS.
4. PROVIDE EMERGENCY SIGNS & EM EXIT LIGHTS WHERE INDICATED ON PLAN. PROVIDE ADDITIONAL EXIT SIGNS & EM EXIT LIGHTS AS REQUIRED BY LOCAL OFFICIAL.
5. NEW CEILING GRIDS TO BE CENTERED.

PROJECT

# Norwescap Old Sullivan Building Remodeling Project

PROJECT LOCATION

LOT: 371 S Main Street  
Phillipsburg, NJ 08865  
Warren County

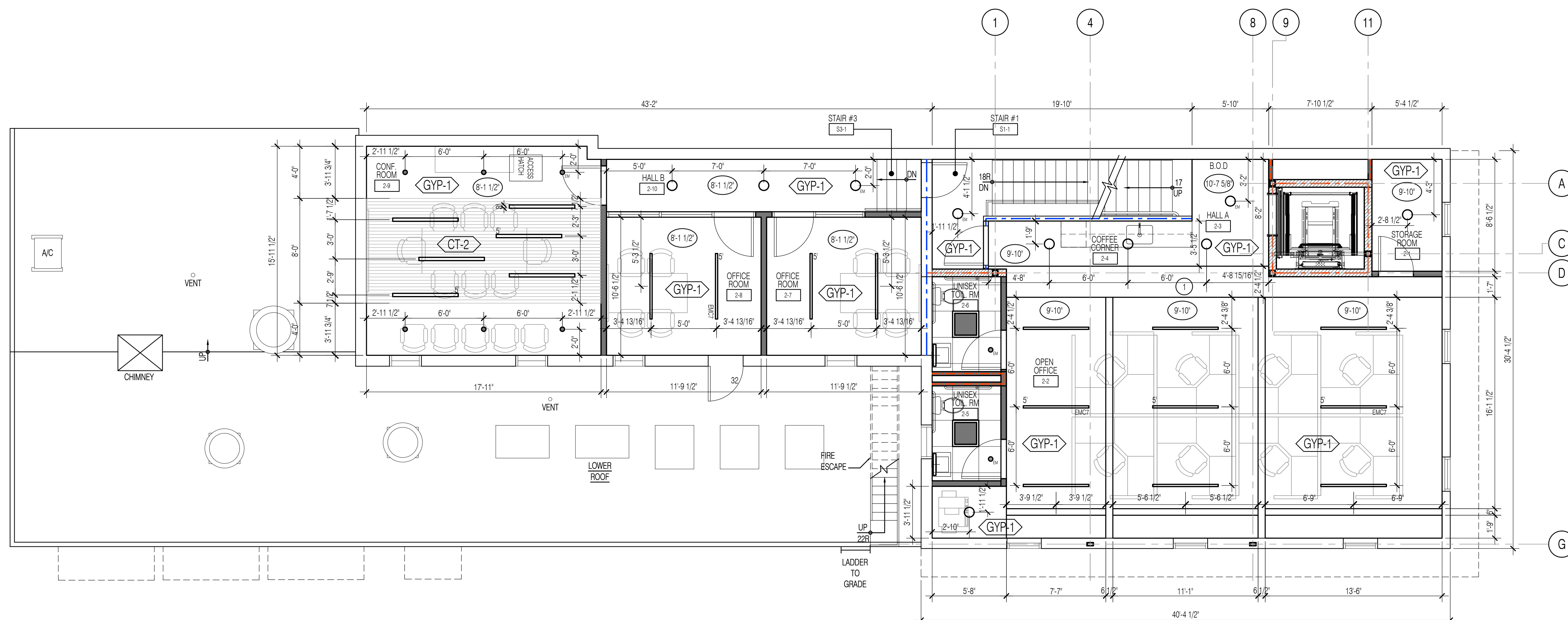
CLIENT:

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350 Marshall Street  
Phillipsburg, NJ 08865

ARCHITECT



CONSULTANT



**Issues and Revisions**

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1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
PROPOSED SECOND FLOOR REFLECTED CEILING PLAN

Computer File:  
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**A3.02**

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- LEGEND:**
- RECESSED CEILING LIGHT:  
LITON - CH4C20UE-D10\_CR4LC30SW-B60-T35
  - RECESSED EMERGENCY CEILING LIGHT:  
LITON - CH4C20UE-D10\_EM-CR4LC30SW-B60-T35
  - RECESSED CEILING LIGHT:  
LITON - CH6C20UE-D10\_CR6LC40SW-B60-T35
  - RECESSED EMERGENCY CEILING LIGHT:  
LITON - CH6C20UE-D10\_EM-CR6LC40SW-B60-T35
  - ⊕ PENDANT DOWNLIGHT:  
LUMENS: TRINITY LED OVAL PENDANT
  - 2x2 LED LIGHT FIXTURE:  
LIRON - FLB2-2X2-UW3CCT
  - WALL SCIENCE:  
ONESTO LIGHTING: ZENDA BRASS & OPAL WHITE 2.5" DIA
  - ⊖ WALL SCIENCE:  
VAXCEL LIGHTING: CHIASSO 2 LIGHT 14" TALL 5" DIA
  - TRACK LIGHT:  
LITON - LTD8321B-T30
  - LED RECESSED LINEAR LIGHT FIXTURE:  
DAY - PRFL24-D-FL-35-HO-4
  - + PENDANT DOWNLIGHT:  
ELKSDUT: PENDANT SPOTLIGHT MINI CHANDELIER 2.5"
  - ⊗ CEILING MTD. EXIT SIGN  
NICOR LIGHTING LED EMERGENCY EXIT SIGN EXL2-10UNV-AL-CL-G-1

- CEILING FINISH LEGEND:**
- GYP-1 GYP. BD. CEILING (2) LAYER OF TYPE-X GYP. BD. PER DET-2, 3, & 4/A0.07  
FINISH: SPRAY FADE DUO BY ECOPHON OR APPROVED EQUAL  
PER MFGS SPECIFICATIONS.

- KEY NOTES:**
- 1 GC TO COORDINATE FOLDING PARTITION DETAIL WITH FOLDING PARTITION MANUFACTURER.

- GENERAL NOTES:**
1. REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
  2. REVIEW ALL DRAWINGS IN THIS SET AND COORDINATE ALL WORK AS REQUIRED.
  3. SEE MEP DRAWING FOR ALL FOR ALL MECHANICAL, PLUMBING, SPRINKLERS, FIRE ALARMS
  4. PROVIDE EMERGENCY SIGNS & EM EXIT LIGHTS WHERE INDICATED ON PLAN. PROVIDE ADDITIONAL EXIT SIGNS & EM EXIT LIGHTS AS REQUIRED BY LOCAL OFFICIAL.
  5. NEW CEILING GRIDS TO BE CENTERED

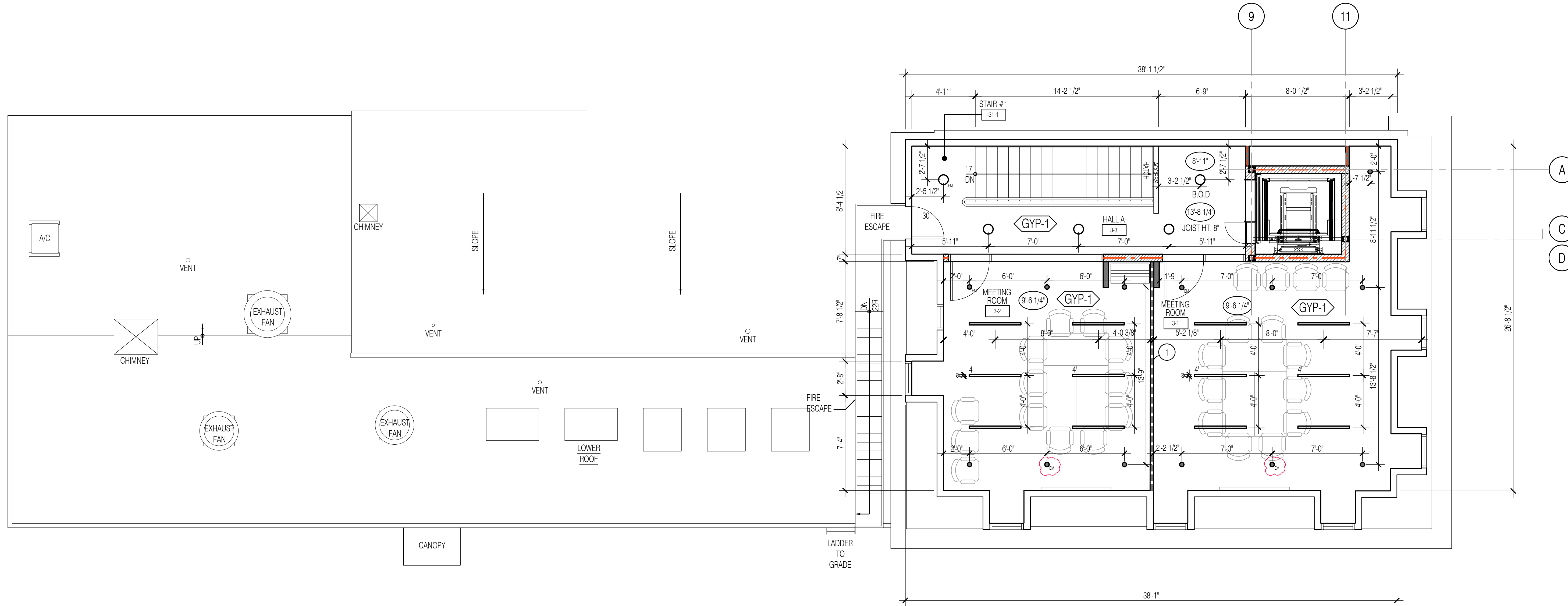
PROJECT  
**Norwescap  
Old Sullivan Building  
Remodeling Project**

PROJECT LOCATION  
LOT: 371 S Main Street  
Phillipsburg, NJ 08865  
Warren County

CLIENT:  
**NORWESCAP**  
350 Marshall Street  
Phillipsburg, NJ 08865

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CONSULTANT



Issues and Revisions

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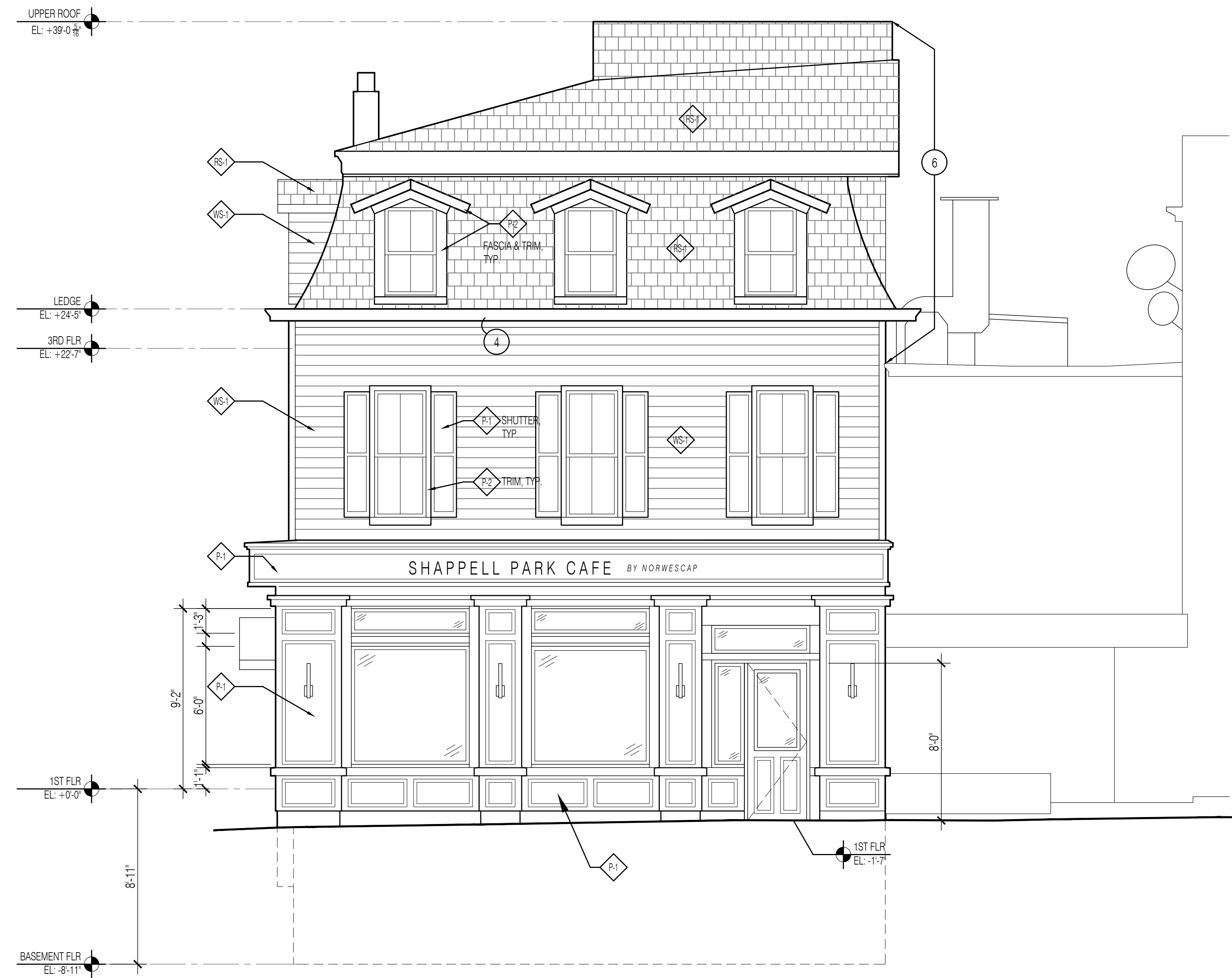
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Drawing Description:  
PROPOSED THIRD FLOOR REFLECTED CEILING PLAN

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A3.03

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**1 PROPOSED FRONT ELEVATION**  
SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)



**1 EXISTING FRONT ELEVATION**  
SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)

**FINISH LEGEND:**

NOTE: FINISHES NOTED ARE FOR BUDGETING PURPOSE. PROVIDE SAMPLE FOR REVIEW AND APPROVAL PRIOR TO ORDERING.

- ROOF SHINGLES**  
 MFG: GAF OR APPROVED EQUAL PRODUCT: TIMBERLINE HDZ OR APPROVED EQUAL COLOR: CHARCOAL FINISH: TBD
  
- FIBERCEMENT SIDING**  
 MFG: JAMES HARDIE PRODUCT: PLANK LAP SIDING, BEADED SMOOTH COLOR: WHITE HOUSE
  
- PAINT**  
 MFG: BENJAMIN MOORE COLOR: 2132-10 FINISH: MATTE
  
- PAINT**  
 MFG: BENJAMIN MOORE COLOR: WHITE, TBD FINISH: SATIN
  
- PAINT**  
 MFG: BENJAMIN MOORE COLOR: TBD TO MATCH WS-1 SIDING FINISH: MATTE
  
- PAINT**  
 MFG: BENJAMIN MOORE COLOR: TBD FINISH: SATIN

**NOTES:**

1. REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
2. FINISHED FIRST FLOOR ELEVATION IS SET AS DATUM EL: ±0'-0". COORDINATE ACTUAL ELEVATIONS WITH SITE PLAN.
3. GRADE LEVEL SHOWN ON THIS DRAWING IS APPROX. COORDINATE ALL SITE INFORMATION WITH SITE PLAN.
4. ALL SIGNS SHOWN ON PLAN ARE REFERENCE ONLY. SIGNS ARE TO BE PROVIDED BY OWNER IN SEPARATE PERMIT. GC TO COORDINATE INSTALLATION OF SIGNS WITH OWNER.

**KEY NOTES:**

1. EXISTING ASPHALT ROOFING TO REMAIN. GC TO PROVIDE ALT. BID FOR REPLACEMENT OF EXISTING ROOFING. COORDINATE DETAILS W/ KEY NOTE #1 & #A1 ON A2.04.
2. EXISTING MEMBRANE ROOFING TO REMAIN. GC TO PROVIDE ALT. BID FOR REPLACEMENT OF EXISTING ROOFING. COORDINATE DETAILS W/ KEY NOTE #2 & #A2 O A2.04.
3. REMOVE EXISTING GUTTER IN ITS ENTIRETY AND PROVIDE NEW GUTTER & LEADERS. COORDINATE DETAILS W/ KEY NOTE #4/A2.04.
4. NEW ROOD DRAIN LEADER TO PASS THRU DECORATIVE WALL FEATURE AND CONNECT TO EXISTING UNDERGROUND DRAINAGE SYSTEM. GC TO DEVELOP DRAINWARE BY GC TO FIELD. COORDINATE EXACT LAYOUT & ROUTING.
5. NEW ROOD DRAIN LEADER. GC TO FIELD COORDINATE EXACT LOCATION. DRAIN TO DAYLIGHT.
6. PROVIDE NEW SHINGLE ROOFING OR SIDING AT EXPOSED WALL FACING ADJ. BUILDING SIDE.
7. EXISTING RAISED UP ROOING TO REMAIN. PROVIDE NEW RIDGE CAP FLASHING ALONG RIDGE LINE.
8. EXISTING FIRE ESCAPE & LADDER TO BE RE-PAINTED. CLEAN & PREP SURFACE EXISTING STRUCTURE.

**ALT. BID NOTES:**

- NOTE: GC TO INCLUDE PRICING FOR ITEMS BELOW AS A SEPARATE LINE ITEM.
- A1. BASE BID: N/A. NEW LEADER TO DRAIN TO DAYLIGHT  
 ALT. BID: NEW LEADER TO DRAIN TO UNDERGROUND DRAINAGE SYSTEM. NO INFO AVAILABLE FOR EXISTING UNDERGROUND STORM WATER SYSTEM. GC TO INVESTIGATE EXISTING STORM WATER LINE AND CONNECT TWO NEW LEADER TO STORM WATER LINE.

PROJECT

**Norwescap  
Old Sullivan Building  
Remodeling Project**

PROJECT LOCATION  
**LOT:** BLOCK:  
**371 S Main Street  
 Phillipsburg, NJ 08865  
 Warren County**

CLIENT:  
**NORWESCAP**  
 350 Marshall Street  
 Phillipsburg, NJ 08865

ARCHITECT  
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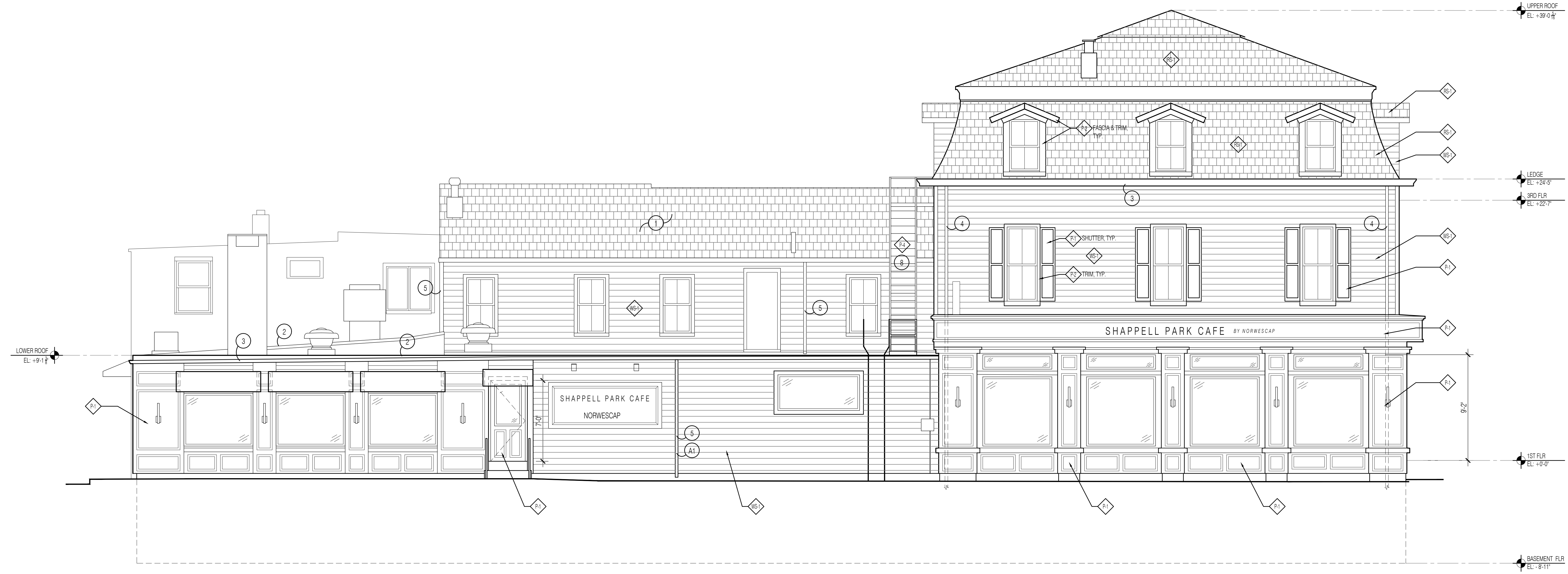
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No.	Date	Issues and Revisions	By
1.	05/17/24	ISSUE FOR BID	SA BH

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Benjamin J. Horten NJ License No: AI 15794  
 Drawing Description:  
 EXISTING & PROPOSED FRONT ELEVATIONS  
 Computer File:  
 P:\22163 Norwescap Sullivan Bldg 371 S. Main St.  
 Phillipsburg\drawings\06 CD Update\A4.01 Elev.dwg

NOTES:  
 1. REFER TO A4.01 FOR ALL NOTES AND LEGEND.



**1** PROPOSED LEFT SIDE ELEVATION  
 SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)



**1** EXISTING LEFT SIDE ELEVATION  
 SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)

PROJECT  
**Norwescap  
 Old Sullivan Building  
 Remodeling Project**

PROJECT LOCATION  
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 Warren County

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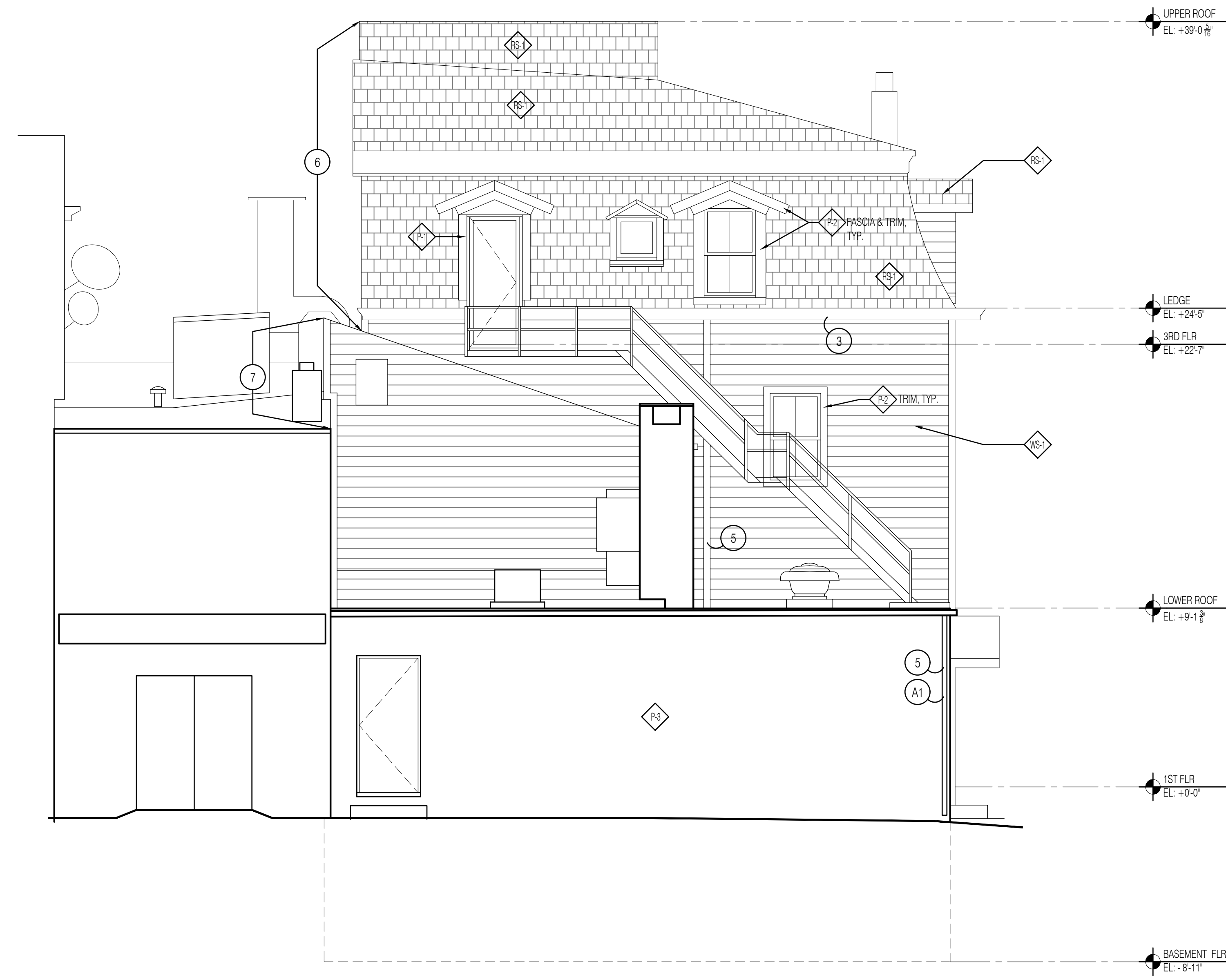
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Registration and Signature

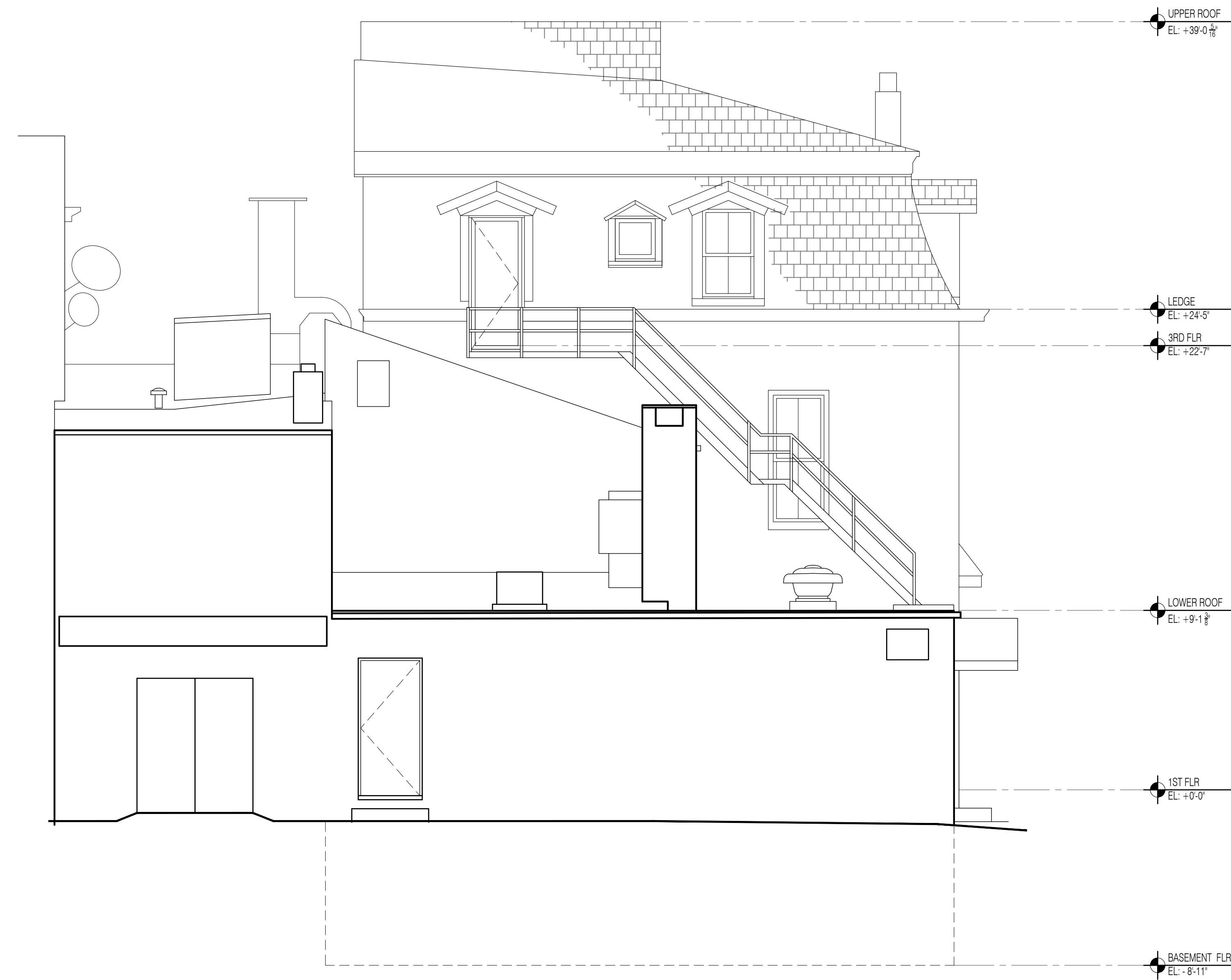
Benjamin J. Horten NJ License No: AI 15794  
 Drawing Description:  
 EXISTING & PROPOSED LEFT SIDE ELEVATIONS  
 Computer File:  
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 Phillipsburg\drawings\06 CD Update\A4.01 Elev.dwg

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**NOTES:**  
 1. REFER TO A4.01 FOR ALL NOTES AND LEGEND.



**1 PROPOSED LEFT SIDE ELEVATION**  
 SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)



**1 EXISTING LEFT SIDE ELEVATION**  
 SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)

**Norwescap  
 Old Sullivan Building  
 Remodeling Project**

---

**PROJECT LOCATION**  
 LOT: BLOCK:  
 371 S Main Street  
 Phillipsburg, NJ 08865  
 Warren County

---

**CLIENT**  
**NORWESCAP**  
 350 Marshall Street  
 Phillipsburg, NJ 08865

---

**ARCHITECT**  
**B HORTEN**  
 architecture & design  
 312 State Route 10, Randolph, NJ 07869  
 Tel: 973.442.5880 Fax: 973.442.5886

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**CONSULTANT**

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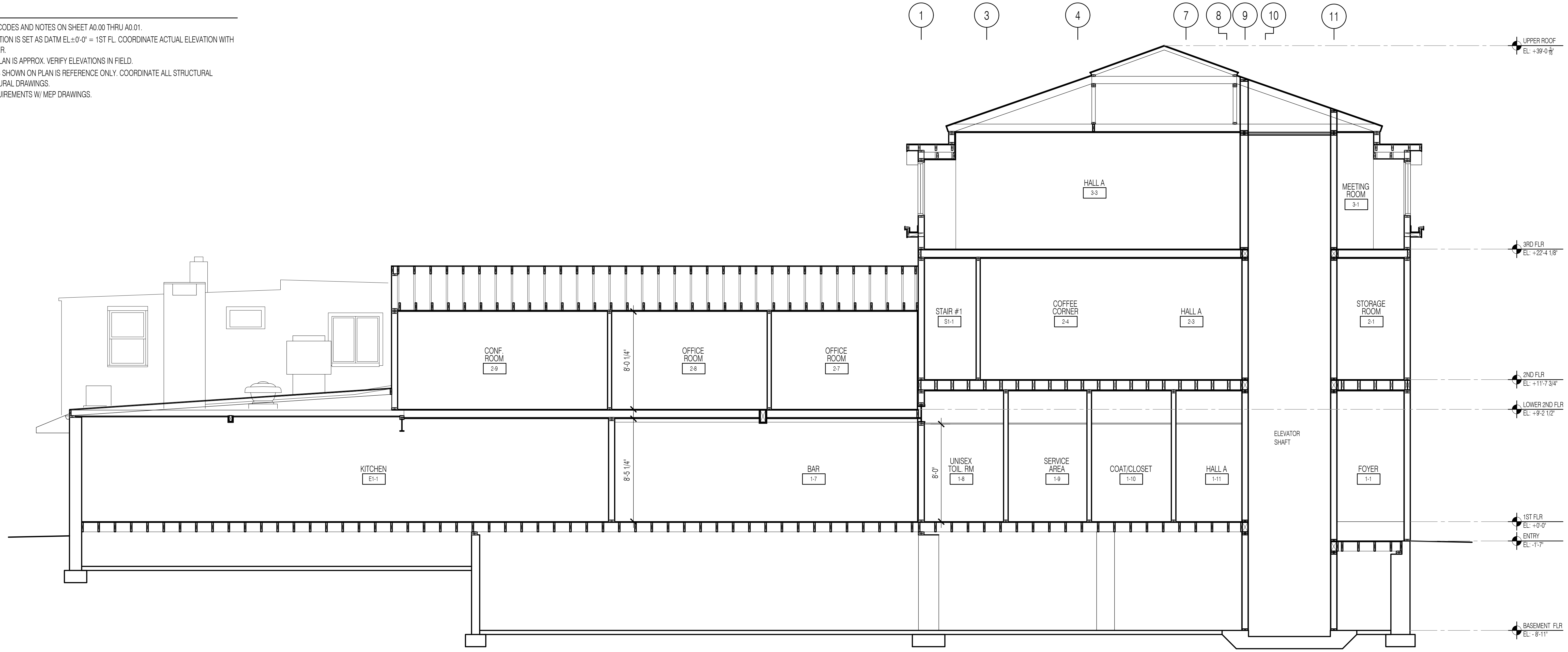
Registration and Signature

Benjamin J. Horten NJ License No: AI 15794  
 Drawing Description:  
 EXISTING & PROPOSED LEFT SIDE ELEVATIONS  
 Computer File:  
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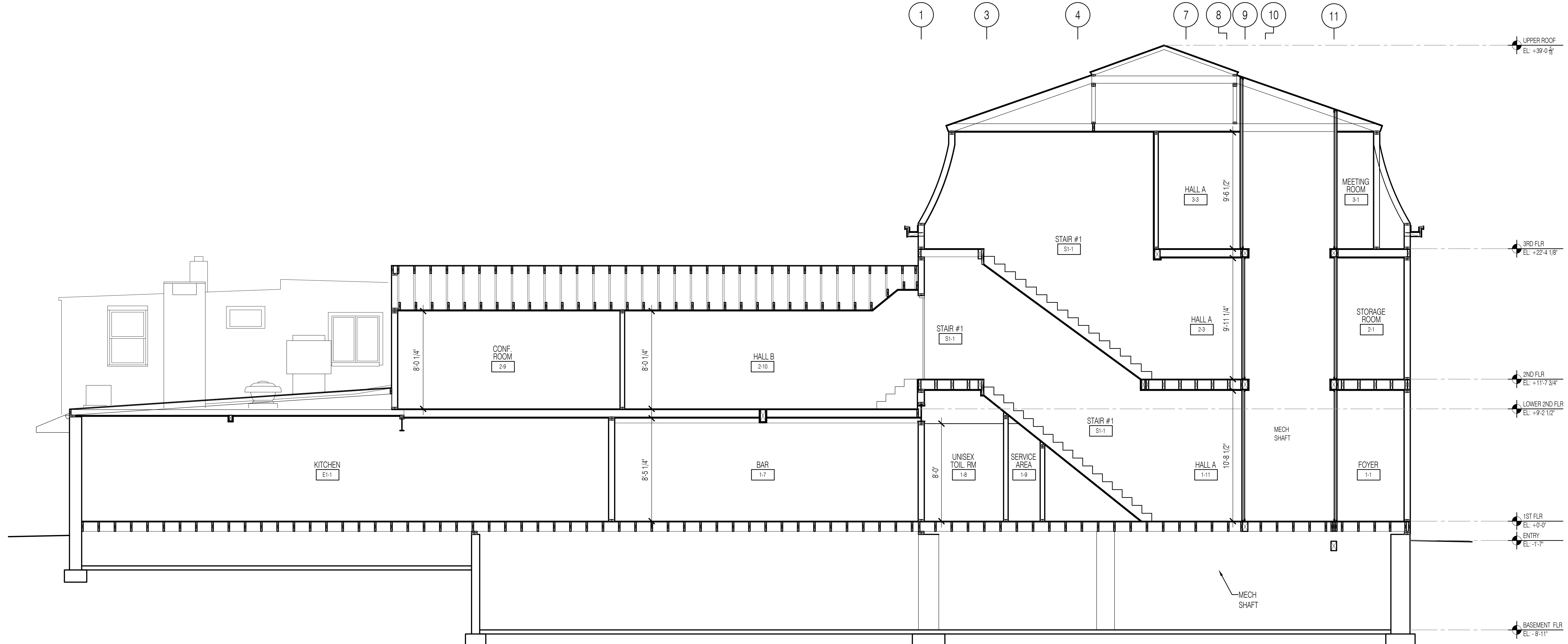


**GENERAL NOTES:**

1. REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
2. FINISHED 1ST FLOOR ELEVATION IS SET AS DATM EL.=0'-0" = 1ST FL. COORDINATE ACTUAL ELEVATION WITH SITE PLAN BY CIVIL ENGINEER.
3. GRADE LEVEL SHOWN ON PLAN IS APPROX. VERIFY ELEVATIONS IN FIELD.
4. ALL STRUCTURAL MEMBERS SHOWN ON PLAN IS REFERENCE ONLY. COORDINATE ALL STRUCTURAL REQUIREMENTS W/ STRUCTURAL DRAWINGS.
5. COORDINATE ALL MEP REQUIREMENTS W/ MEP DRAWINGS.



**1 BUILDING LONGITUDINAL SECTION- 1**  
SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)



**2 BUILDING LONGITUDINAL SECTION- 2**  
SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)

PROJECT

**Norwescap  
Old Sullivan Building  
Remodeling Project**

PROJECT LOCATION

LOT: BLOCK:  
371 S Main Street  
Phillipsburg, NJ 08865  
Warren County

CLIENT:

**NORWESCAP**  
350 Marshall Street  
Phillipsburg, NJ 08865

ARCHITECT

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Drawing Description:  
BUILDING SECTIONS

Computer File:  
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- GENERAL NOTES:**
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  3. GRADE LEVEL SHOWN ON PLAN IS APPROX. VERIFY ELEVATIONS IN FIELD.
  4. ALL STRUCTURAL MEMBERS SHOWN ON PLAN IS REFERENCE ONLY. COORDINATE ALL STRUCTURAL REQUIREMENTS W/ STRUCTURAL DRAWINGS.
  5. COORDINATE ALL MEP REQUIREMENTS W/ MEP DRAWINGS.

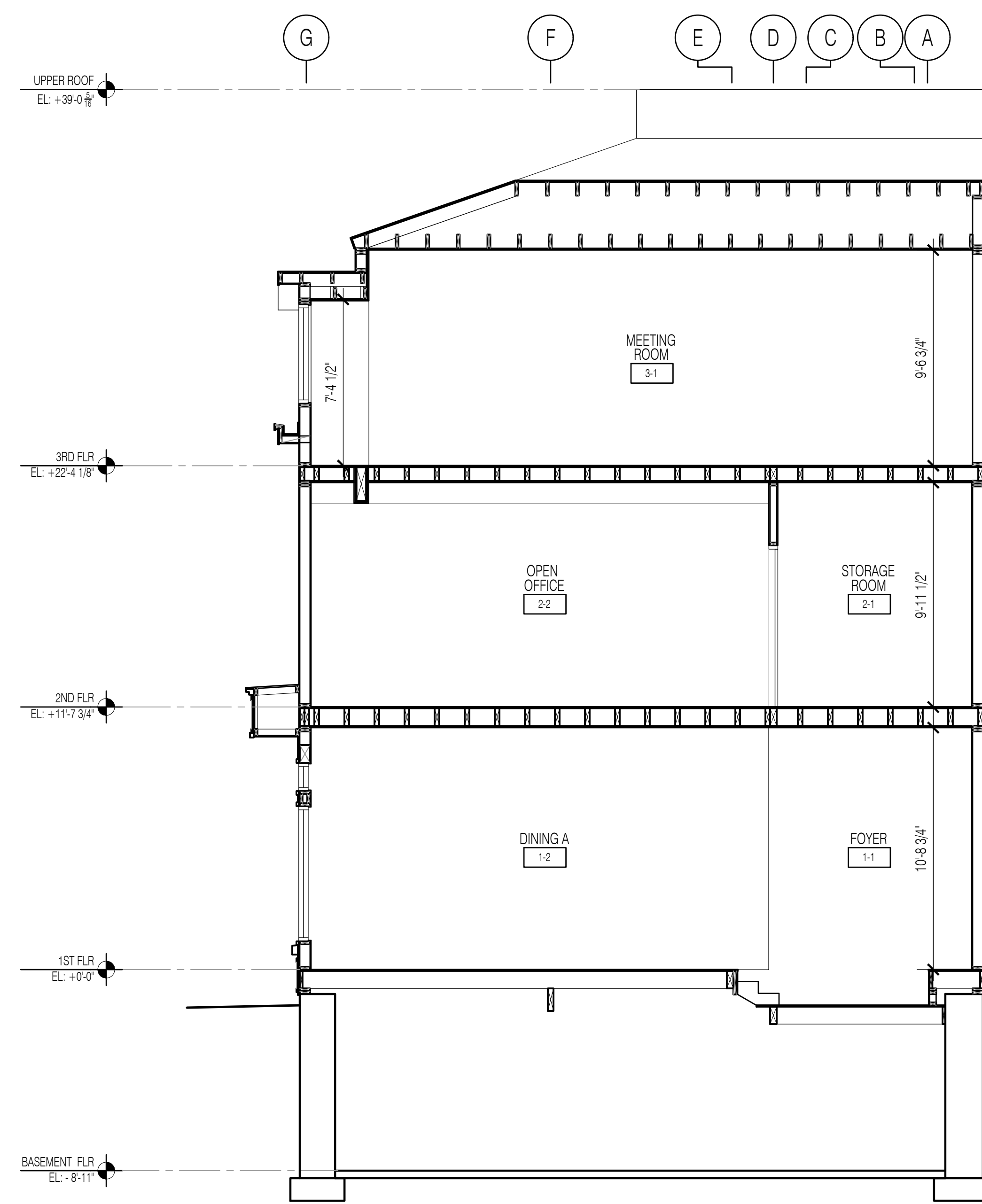
**Norwescap Old Sullivan Building Remodeling Project**

**PROJECT LOCATION**  
 LOT: BLOCK:  
 371 S Main Street  
 Phillipsburg, NJ 08865  
 Warren County

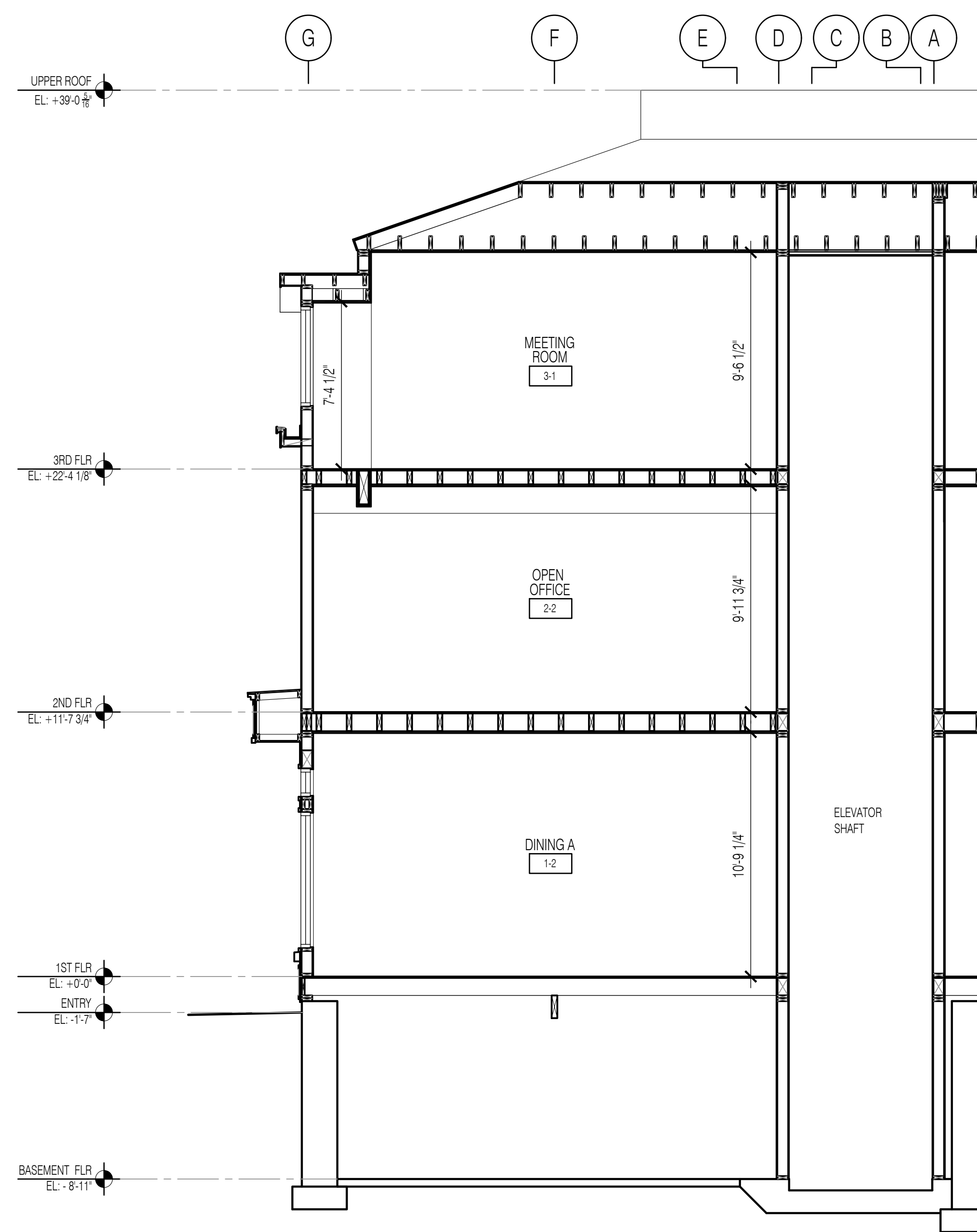
**CLIENT:**  
**NORWESCAP**  
 350 Marshall Street  
 Phillipsburg, NJ 08865

**ARCHITECT:**  
**HORTEN**  
 architecture & design  
 312 State Route 10, Randolph, NJ 07869  
 Tel: 973.442.5880 Fax: 973.442.5886

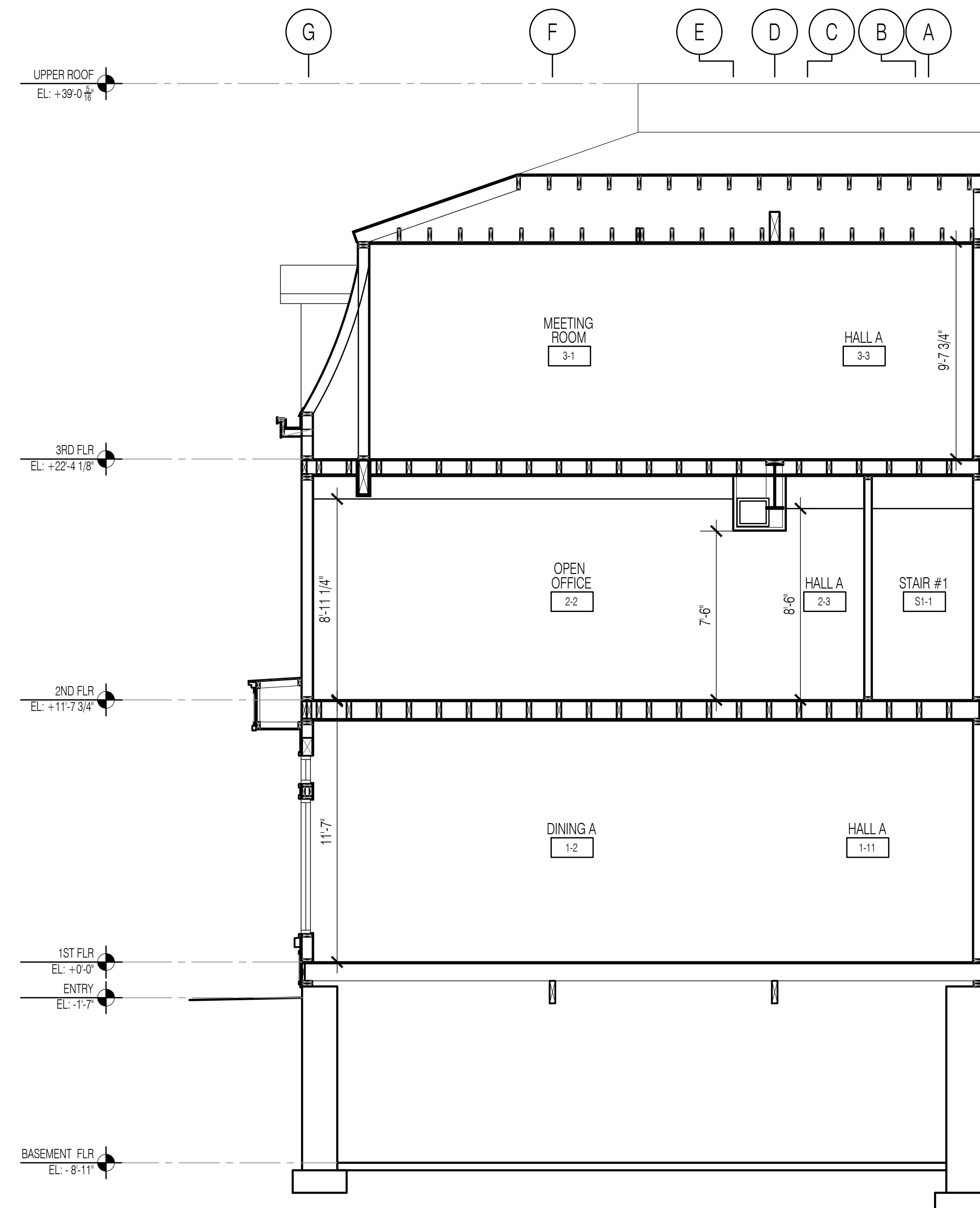
**CONSULTANT:**



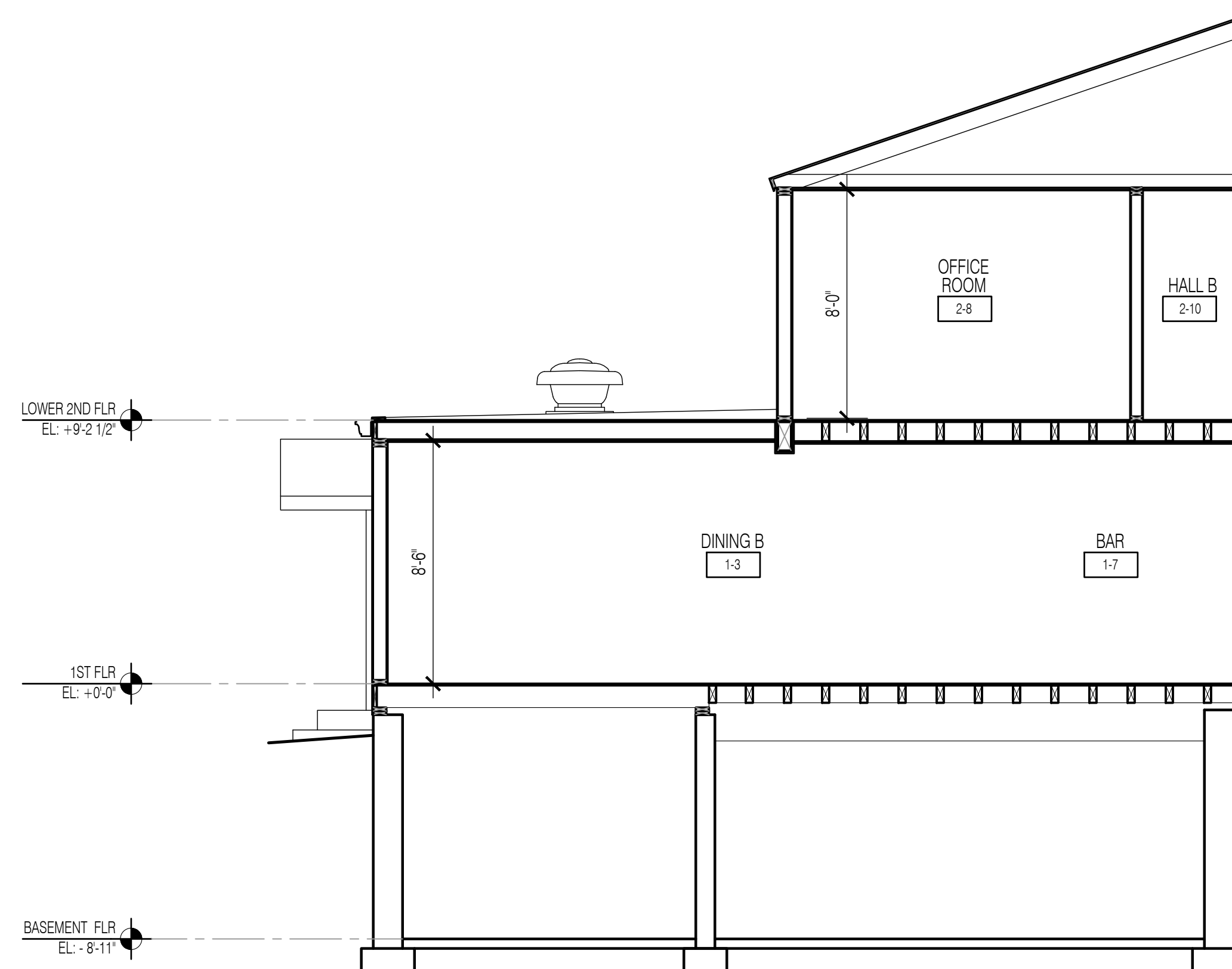
**1 BUILDING CROSS SECTION- 1**  
 SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)



**2 BUILDING CROSS SECTION- 2**  
 SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)



**3 BUILDING CROSS SECTION- 3**  
 SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)



**4 BUILDING CROSS SECTION- 4**  
 SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)

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Drawing Description:  
 BUILDING SECTIONS

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**A5.03**

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# Norwescap Old Sullivan Building Remodeling Project

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Warren County

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**NORWESCAP**  
350 Marshall Street  
Phillipsburg, NJ 08865

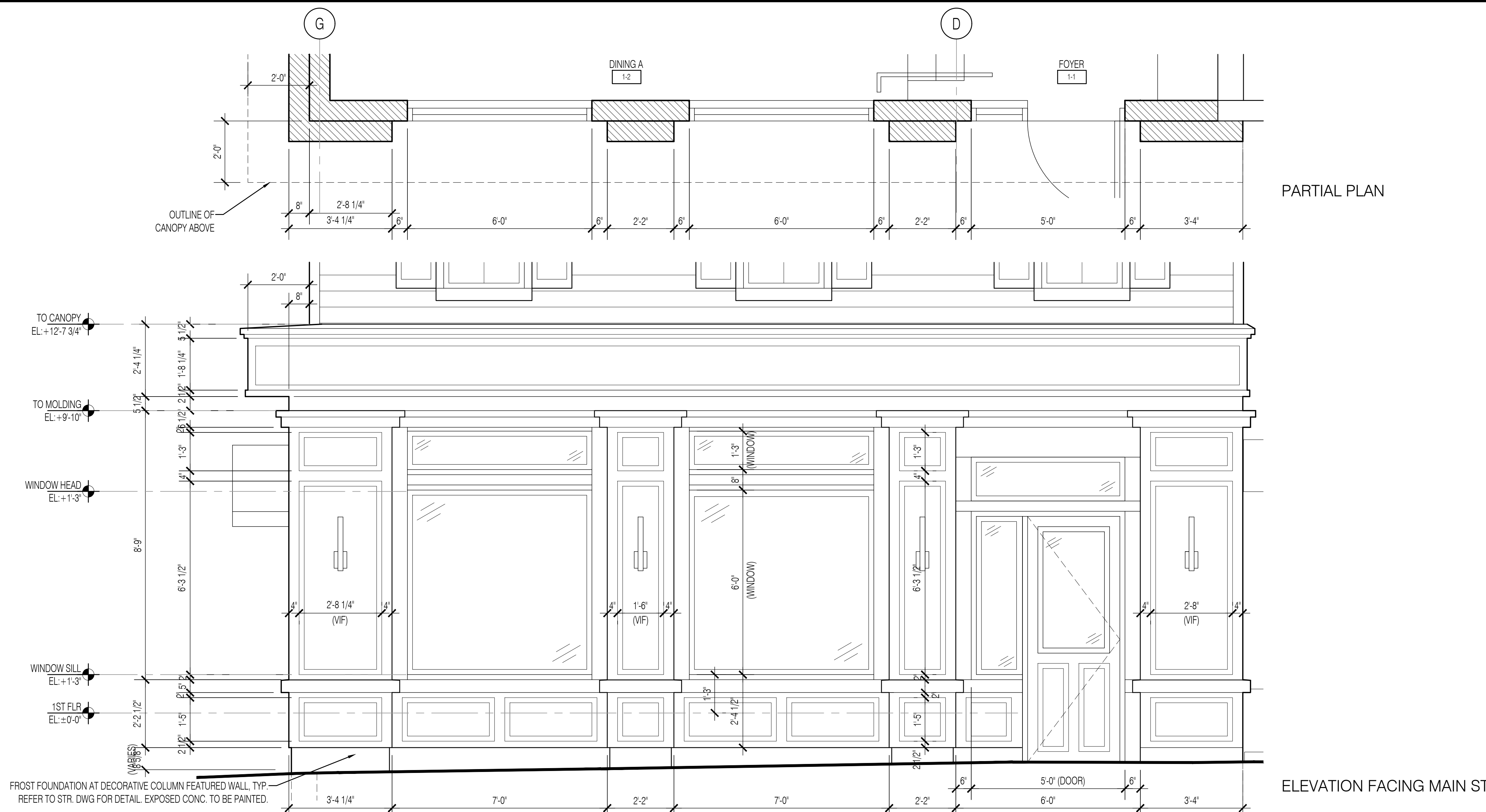
ARCHITECT

**B HORTEN**  
architecture & design  
312 State Route 10, Randolph, NJ 07869  
Tel: 973.442.5880 Fax: 973.442.5886

CONSULTANT

**GENERAL NOTES:**

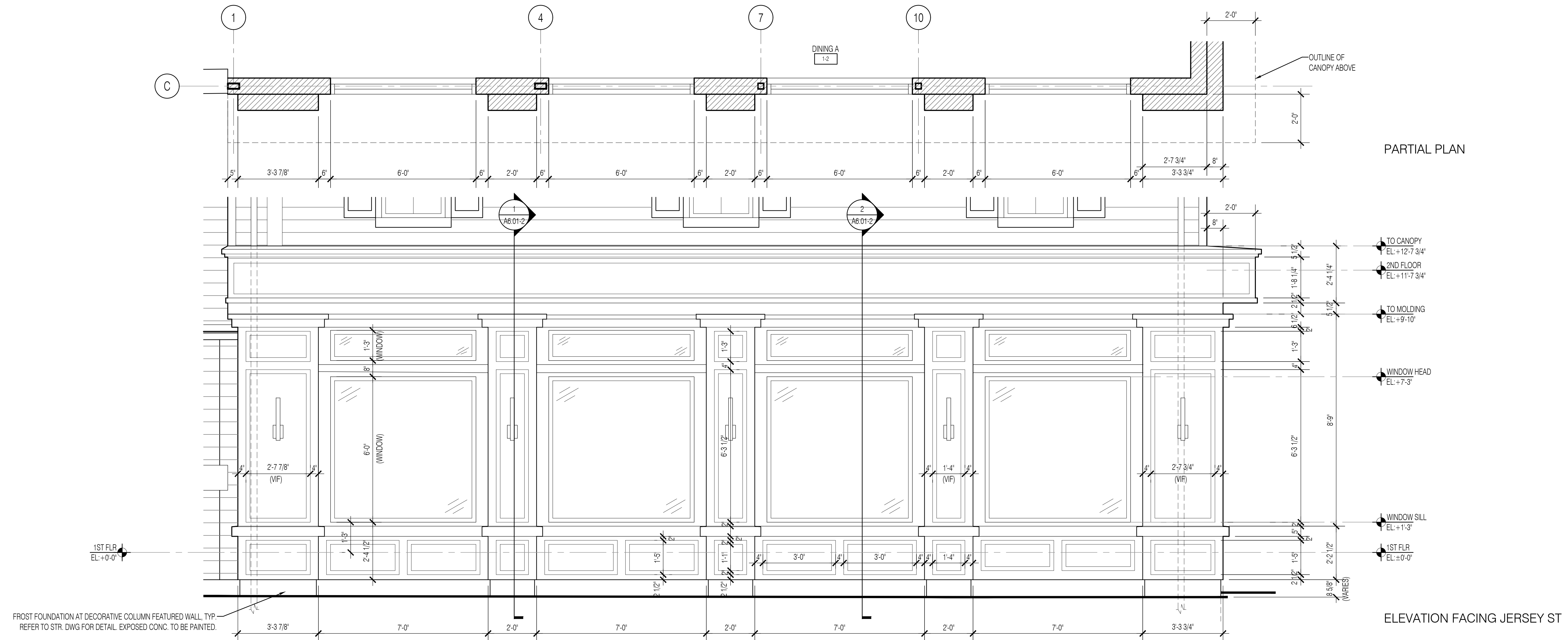
1. REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
2. FINISHED FLOOR ELEVATION IS SET AS DATUM EL.  $\pm 0'-0"$  = 1ST FL. COORDINATE ACTUAL ELEVATION WITH SITE PLAN BY CIVIL ENGINEER.
3. GRADE LEVEL SHOWN ON PLAN IS APPROX. COORDINATE ALL SITE INFORMATION WITH SITE PLAN BY CIVIL ENGINEER.
4. FOR ALL BUILDING STRUCTURAL MEMBERS & DETAILS REFER TO STRUCTURAL DWG.



PARTIAL PLAN

ELEVATION FACING MAIN ST

**1 ENLARGED PLAN & ELEVATION AT NEW STOREFRONT**  
SCALE: 1/2"=1'-0" (IF 11 X 17, SCALE: NTS)



PARTIAL PLAN

ELEVATION FACING JERSEY ST

**2 ENLARGED PLAN & ELEVATION AT NEW STOREFRONT**  
SCALE: 1/2"=1'-0" (IF 11 X 17, SCALE: NTS)

Issues and Revisions			
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Drawing Description:  
PARTIAL DETAIL @ NEW STOREFRONT

Computer File:  
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**A6.01**



# Norwescap Old Sullivan Building Remodeling Project

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**LOT:** **BLOCK:**  
 371 S Main Street  
 Phillipsburg, NJ 08865  
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**NORWESCAP**  
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ARCHITECT  
 **HORTEN**  
 architecture & design  
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 Tel: 973.442.5880 Fax: 973.442.5886

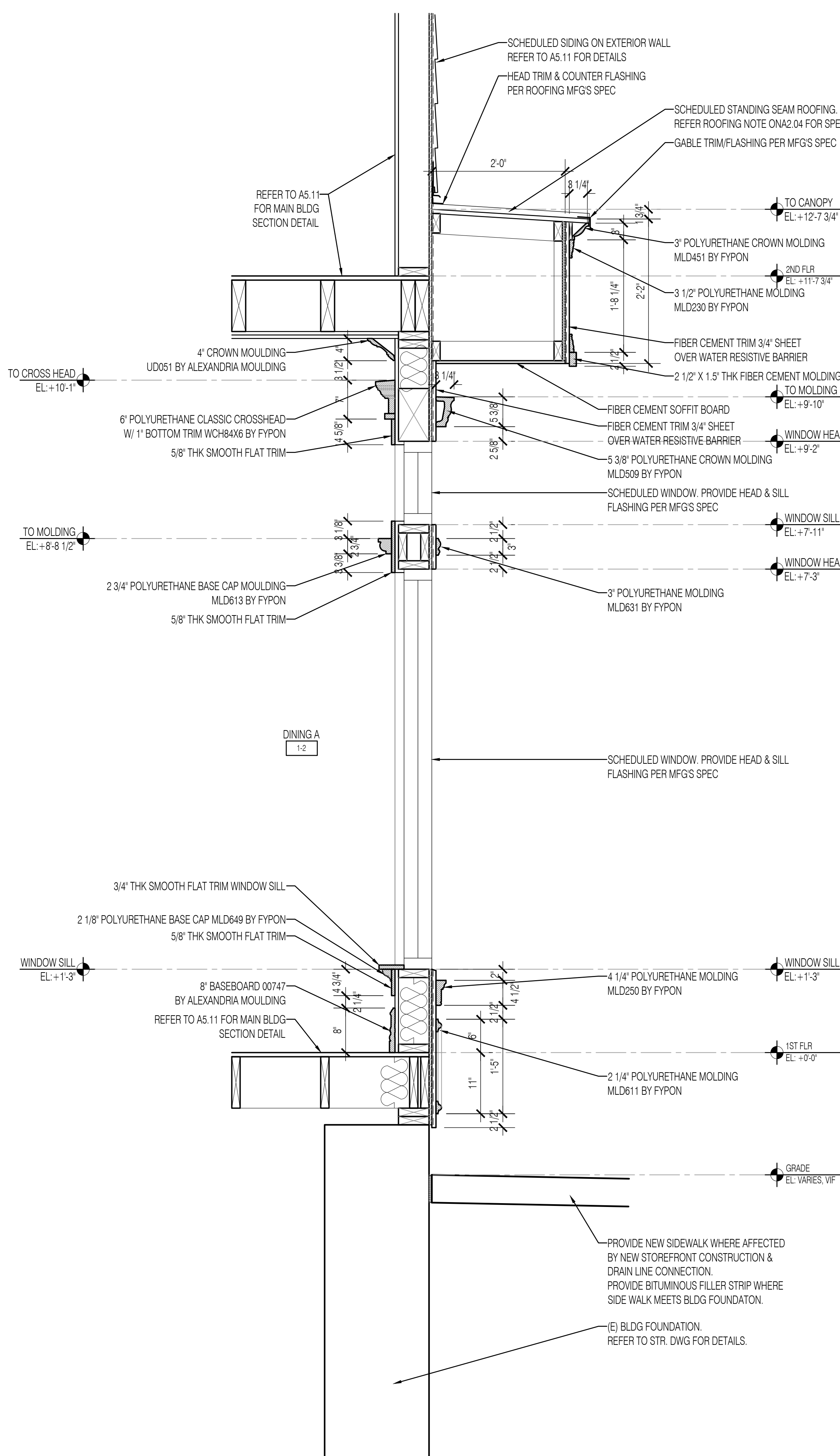
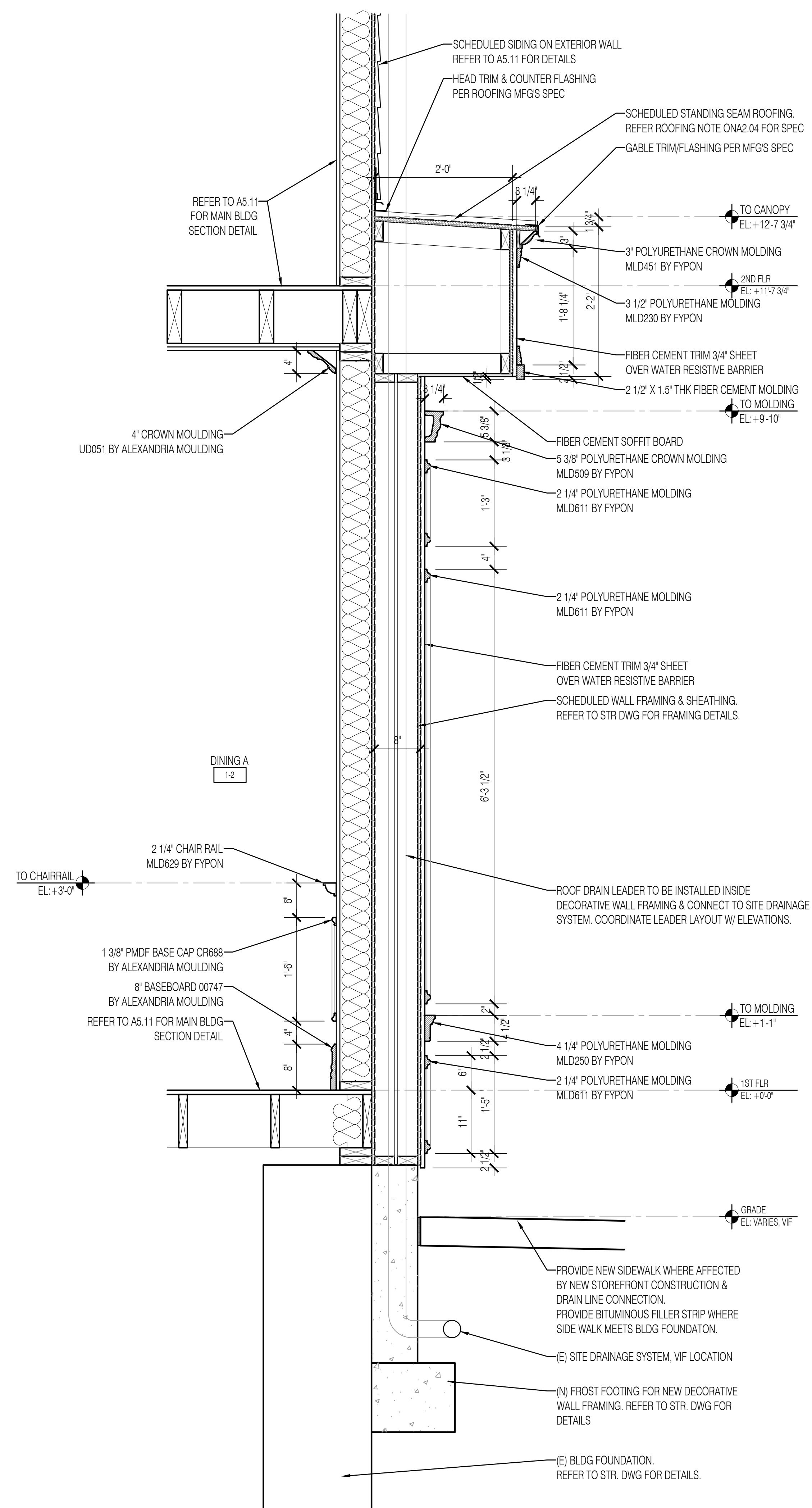
CONSULTANT

**EXTERIOR FINISH NOTES:**

- GC TO COORDINATE ALL ADDITIONAL REQUIREMENTS & DETAILS WITH MANUFACTURERS SPECIFICATIONS.
- REFER TO A5.11 FOR ALL EXTERIOR WALL REQUIREMENTS AND REFER TO THIS SHEET FOR DECORATIVE WALL FINISH IN NEW STOREFRONT. REFER TO THIS SHEET AND PROVIDE SHOP DWG FOR TRIM & MOLDING FOR REVIEW AND APPROVAL.

**GENERAL NOTES:**

- REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
- FINISHED FLOOR ELEVATION IS SET AS DATUM EL: +0'-0" = 1ST FL. COORDINATE ACTUAL ELEVATION WITH SITE PLAN BY CIVIL ENGINEER.
- GRADE LEVEL SHOWN ON PLAN IS APPROX. COORDINATE ALL SITE INFORMATION WITH SITE PLAN BY CIVIL ENGINEER.
- FOR ALL BUILDING STRUCTURAL MEMBERS & DETAILS REFER TO STRUCTURAL DWG.
- ALL GYP. BD IN EXTERIOR WALL TO BE TYPE-X & MOLD & MOISTURE RESISTANT TYPE. REFER TO UL-L386 FOR SPECIFIC PRODUCT INFORMATION.



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Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
 PARTIAL DETAIL @ NEW STOREFRONT

Computer File:  
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## A6.01-2

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# Norwescap Old Sullivan Building Remodeling Project

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LOT: BLOCK:  
371 S Main Street  
Phillipsburg, NJ 08865  
Warren County

CLIENT:  
**NORWESCAP**  
350 Marshall Street  
Phillipsburg, NJ 08865

ARCHITECT  
**BEN HORTEN**  
architecture & design  
312 State Route 10, Randolph, NJ 07869  
Tel: 973.442.5880 Fax: 973.442.5886

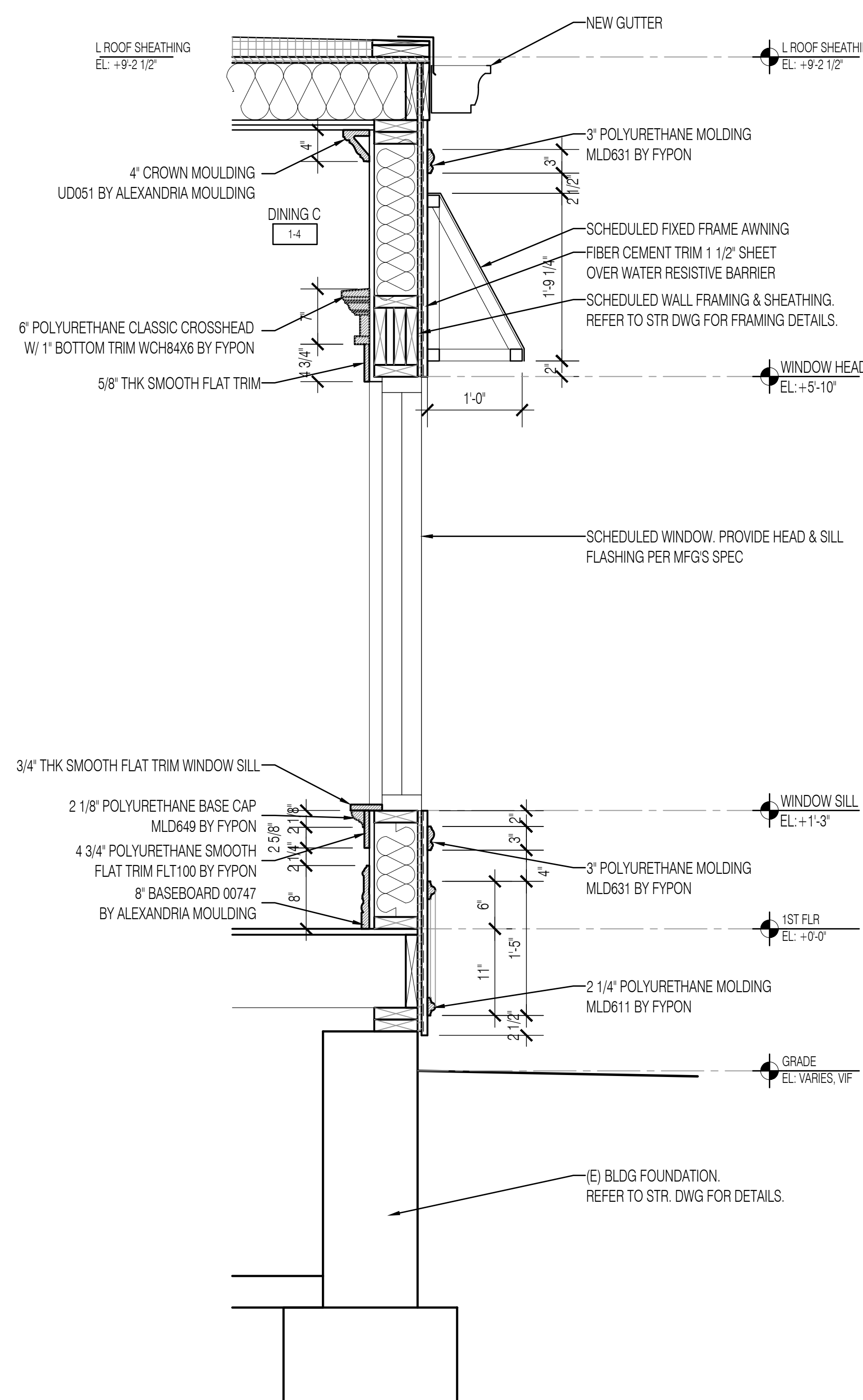
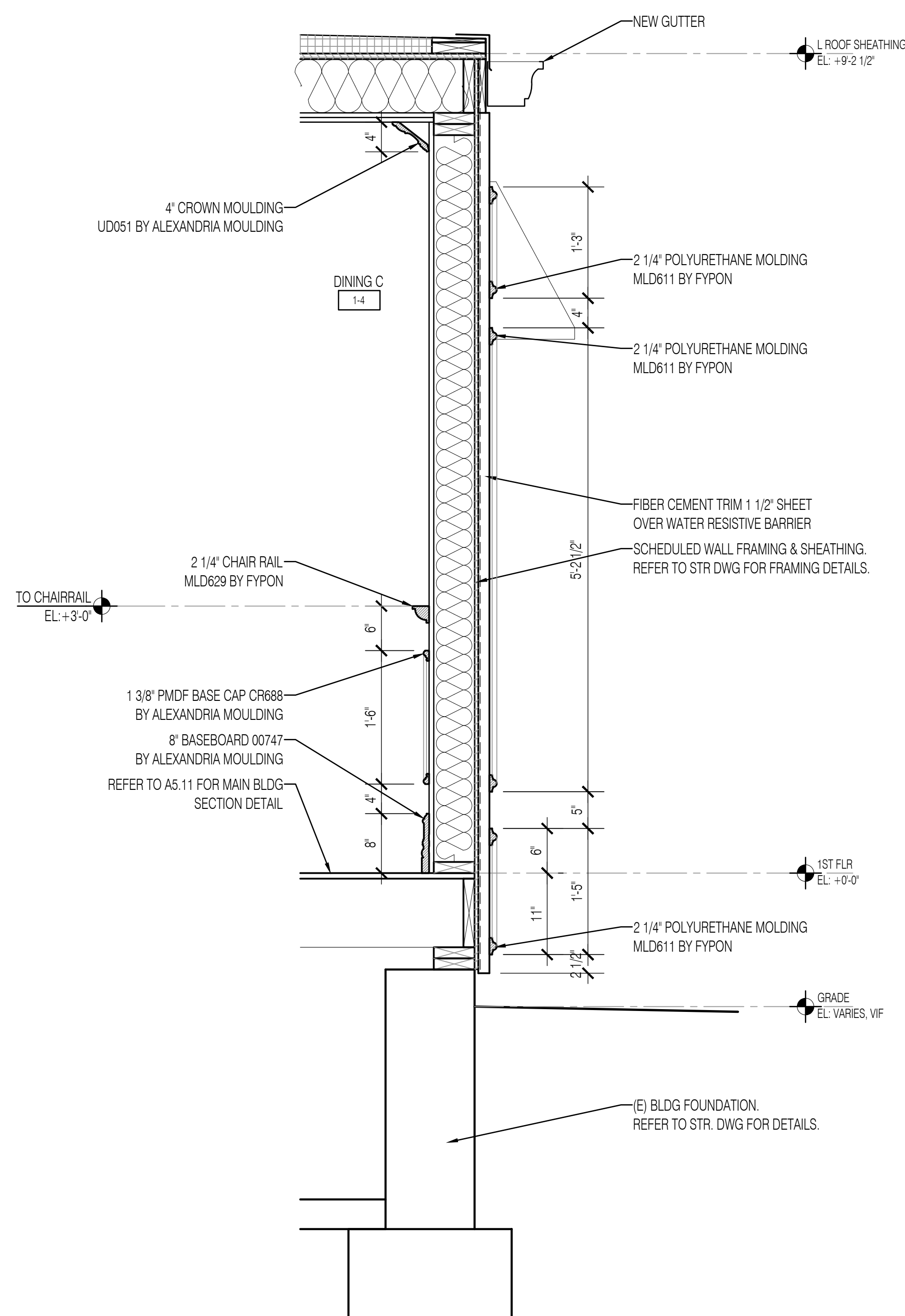
CONSULTANT

### EXTERIOR FINISH NOTES:

- GC TO COORDINATE ALL ADDITIONAL REQUIREMENTS & DETAILS WITH MANUFACTURERS SPECIFICATIONS.
- REFER TO A5.11 FOR ALL EXTERIOR WALL REQUIREMENTS AND REFER TO THIS SHEET FOR DECORATIVE WALL FINISH IN NEW STOREFRONT. REFER TO THIS SHEET AND PROVIDE SHOP DWG FOR TRIM & MOLDING FOR REVIEW AND APPROVAL.
- PREFAB FABRIC AWNING: FIXED FRAME FABRIC AWNING TO BE PREFAB CUSTOM MADE WITH METAL FRAME WITH FABRIC COVERING BY AWINTECH OR APPROVED EQUAL. COORDINATE INSTALLATION REQUIREMENTS W/ MANUFACTURER AND GC TO PROVIDE WALL BLOCKING AS REQUIRED.

### GENERAL NOTES:

- REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
- FINISHED FLOOR ELEVATION IS SET AS DATUM EL: +0'-0" = 1ST FL. COORDINATE ACTUAL ELEVATION WITH SITE PLAN BY CIVIL ENGINEER.
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- FOR ALL BUILDING STRUCTURAL MEMBERS & DETAILS REFER TO STRUCTURAL DWG.
- ALL GYP. BD IN EXTERIOR WALL TO BE TYPE-X & MOLD & MOISTURE RESISTANT TYPE. REFER TO UL-L366 FOR SPECIFIC PRODUCT INFORMATION.



**1 EXTERIOR WALL SECTION- 1**  
SCALE: 1"=1'-0" ( IF 11 X 17, SCALE: NTS)

**2 EXTERIOR WALL SECTION- 2**  
SCALE: 1"=1'-0" ( IF 11 X 17, SCALE: NTS)

Issues and Revisions			
No.	Date	Issues and Revisions	By
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Registration and Signature

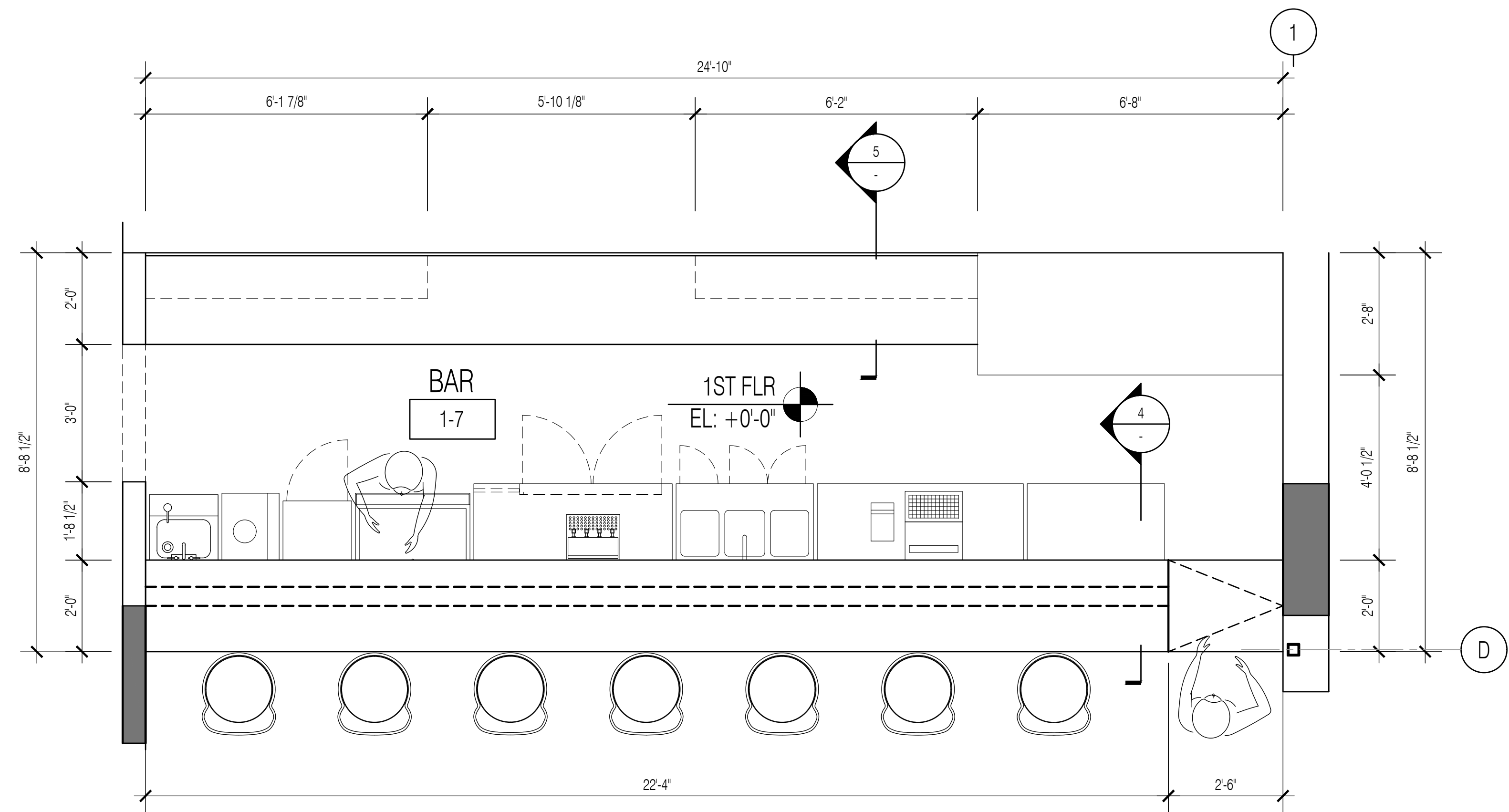
Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
PARTIAL DETAIL @ NEW STOREFRONT

Computer File:  
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Phillipsburg\drawings\06 CD Update\A6.01-2 Sec thru  
Storefront.dwg

# A6.01-3

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**1 ENLARGED PLAN AT BAR**  
SCALE: 1/2"=1'-0" (IF 11 X 17, SCALE: NTS)

- GENERAL NOTES**
- REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
  - REFER TO MEP ENGINEER'S DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING, AND HVAC SYSTEMS.
  - ALL APPLIANCES TO BE SELECTED AND PROVIDED BY TENANT AND INSTALLED BY GC. GC TO COORDINATE ALL MILLWORK REQUIREMENTS W/ APPLIANCE SPECIFICATIONS.
  - PROVIDE ALL NECESSARY SUPPORT AND BLOCKING FOR MILLWORK.
  - FOR ALL FINISHES REFER TO SHEET A11 SERIES.

- FINISH NOTE**
- REFER TO A11.00 FOR FINISH SPEC.
  - COORDINATE GENERAL FINISH NOTES WITH GENERAL NOTES ON A11.00.

PROJECT  
**Norwescap**  
**Old Sullivan Building**  
**Remodeling Project**

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PROJECT LOCATION  
 LOT: BLOCK:  
**371 S Main Street**  
**Phillipsburg, NJ 08865**  
**Warren County**

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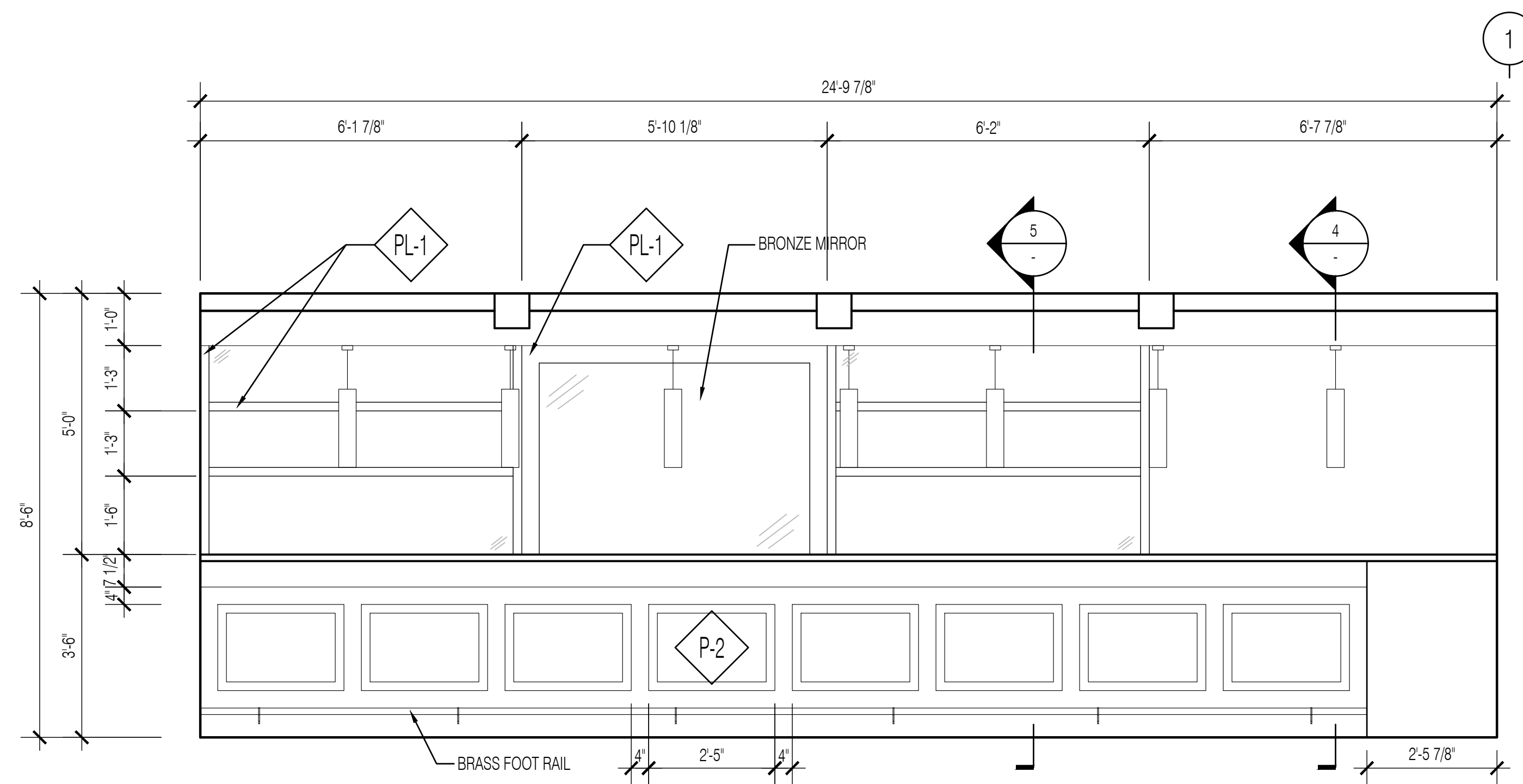
CLIENT  
**NORWESCAP**  
 350 Marshall Street  
 Phillipsburg, NJ 08865

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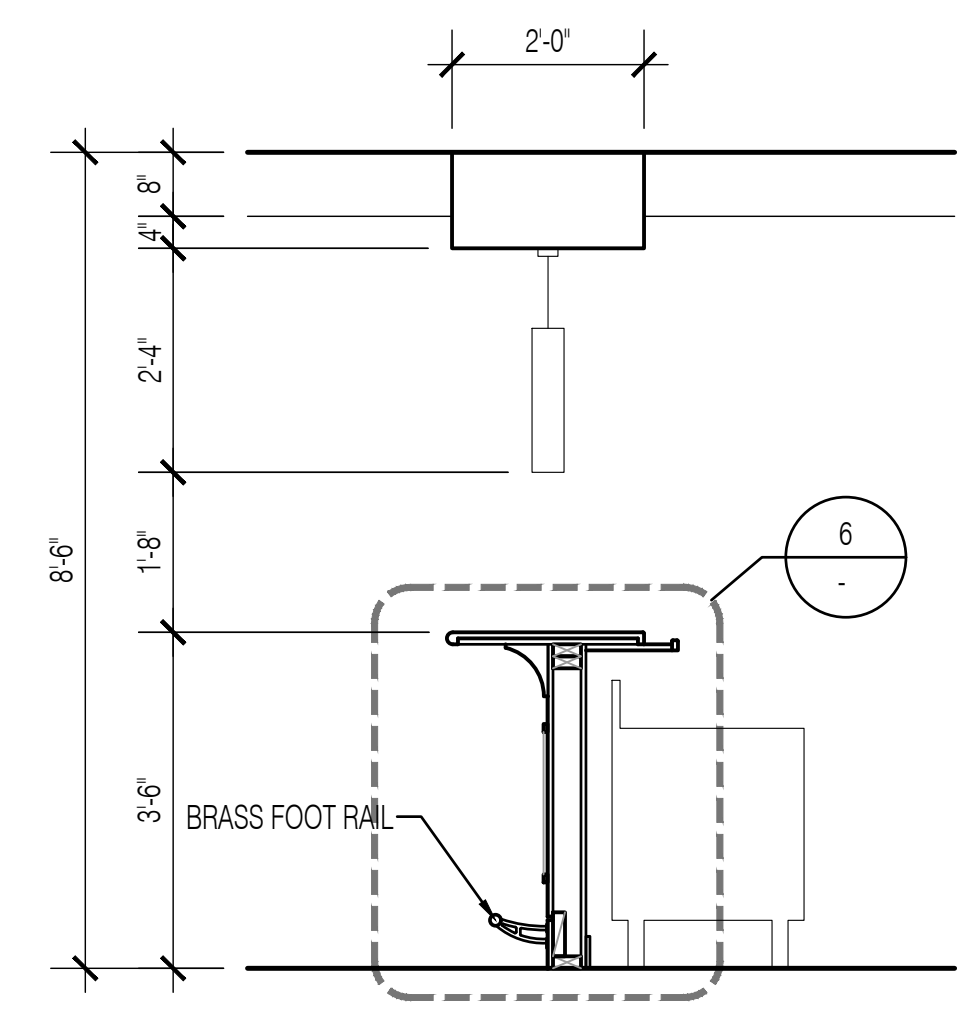
ARCHITECT  
**BEN HORTEN**  
 architecture & design  
 312 State Route 10, Randolph, NJ 07869  
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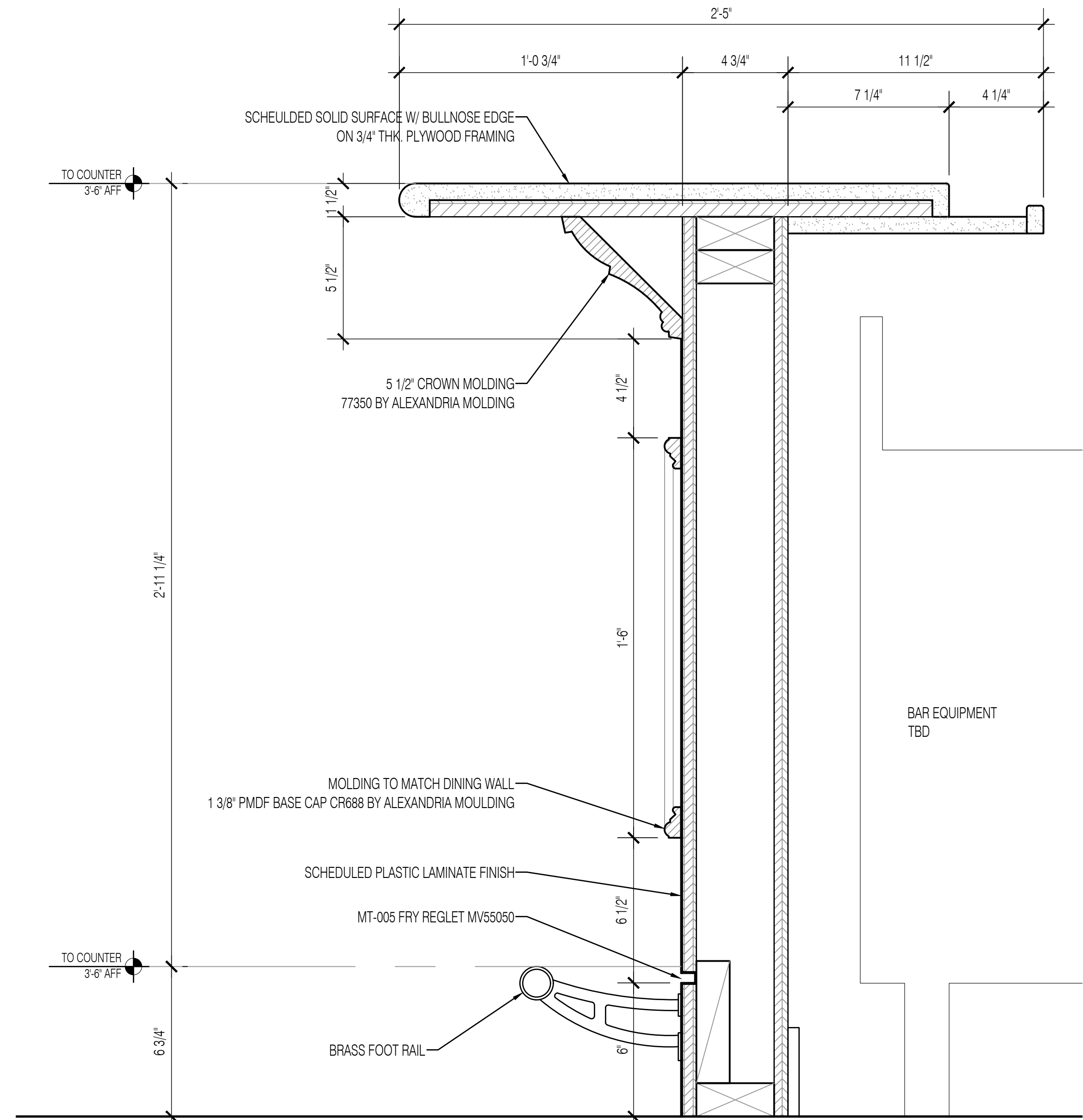
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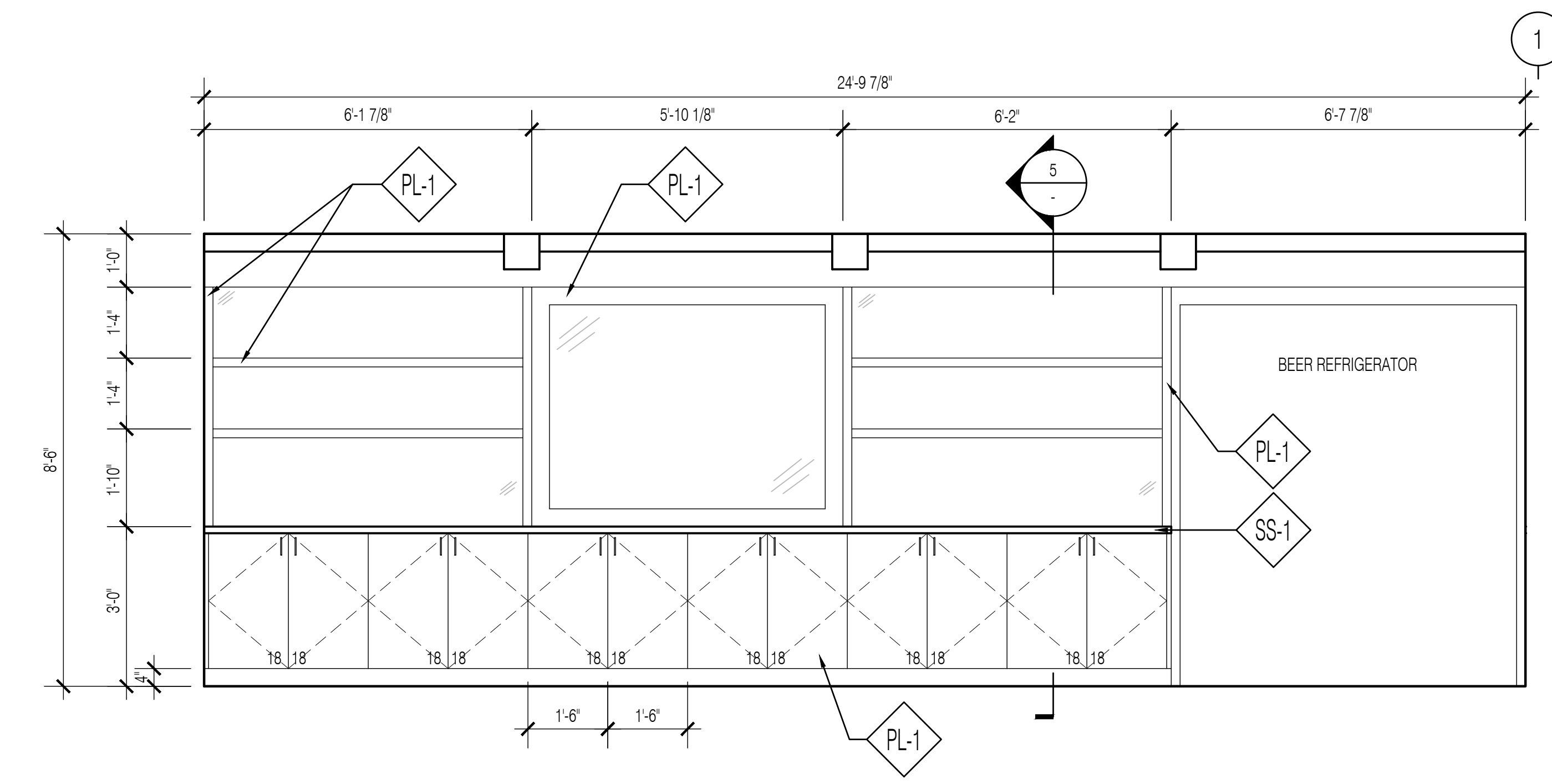
**2 ENLARGED ELEVATION AT FRONT BAR**  
SCALE: 1/2"=1'-0" (IF 11 X 17, SCALE: NTS)



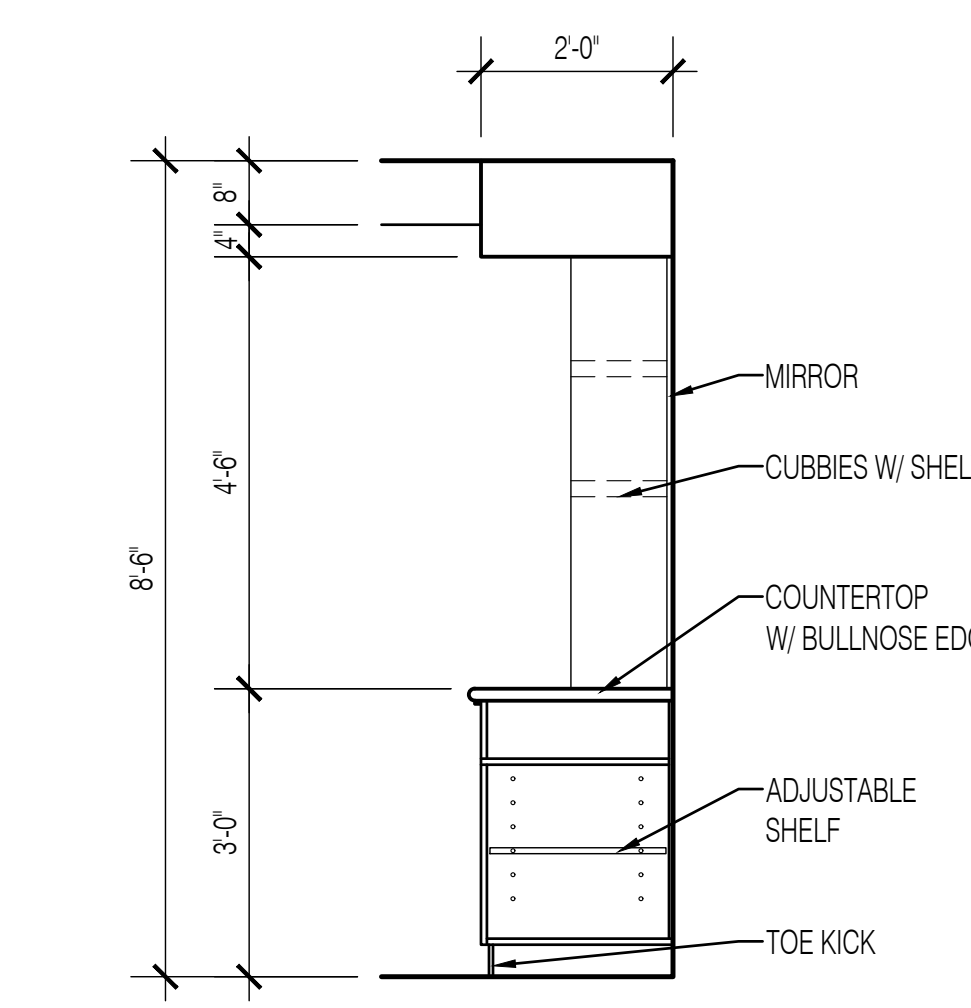
**4 SECTION AT BAR-1**  
SCALE: 1/2"=1'-0" (IF 11 X 17, SCALE: NTS)



**6 DETAILS AT COUNTER**  
SCALE: 3/4"=1'-0" (IF 11 X 17, SCALE: NTS)



**3 ENLARGED ELEVATION AT BACK BAR**  
SCALE: 1/2"=1'-0" (IF 11 X 17, SCALE: NTS)



**5 SECTION AT BAR-2**  
SCALE: 1/2"=1'-0" (IF 11 X 17, SCALE: NTS)

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1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

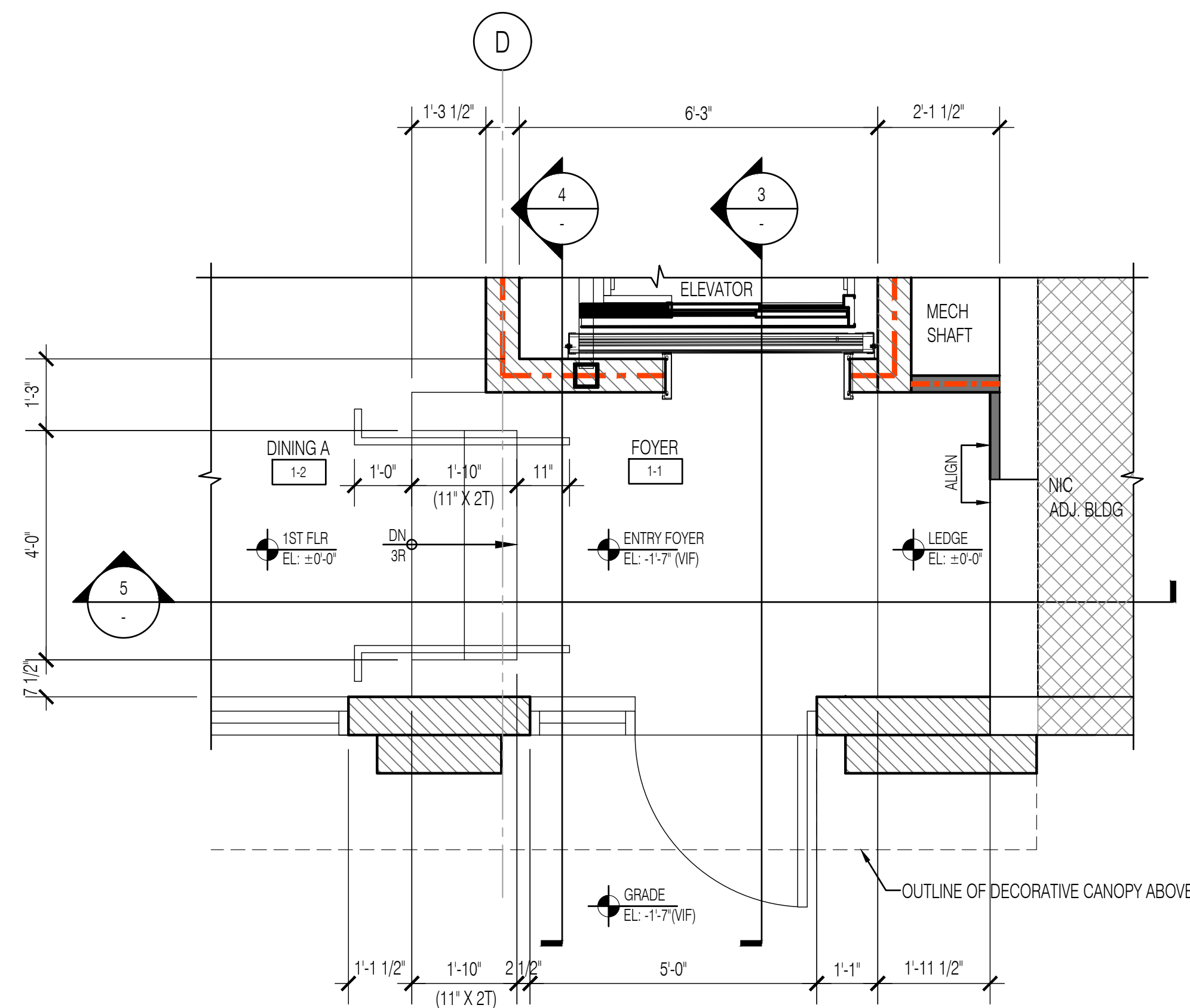
Registration and Signature

Benjamin J. Horten NJ License No: A115794  
 Drawing Description:  
 PARTIAL DETAIL @ BAR

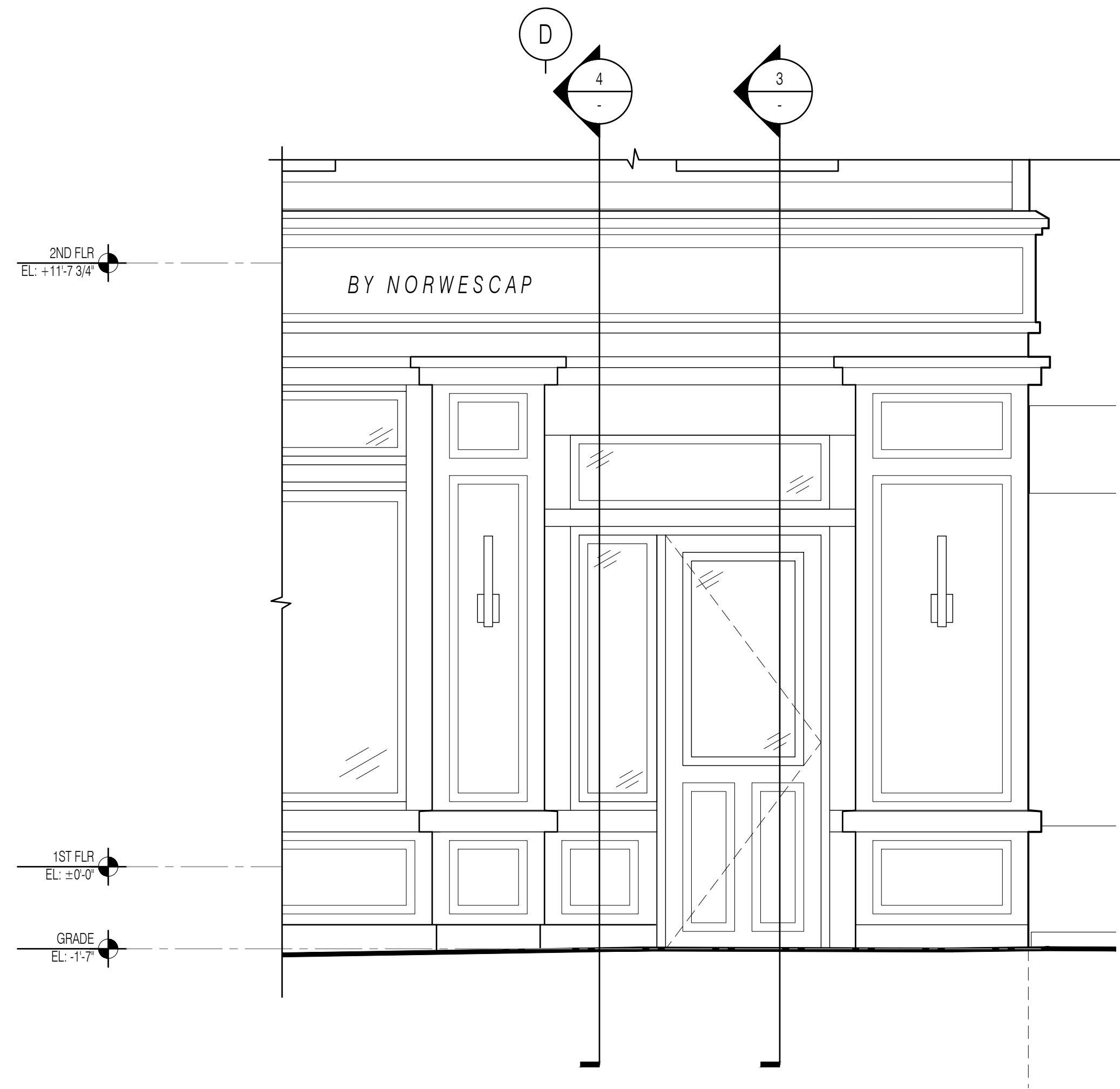
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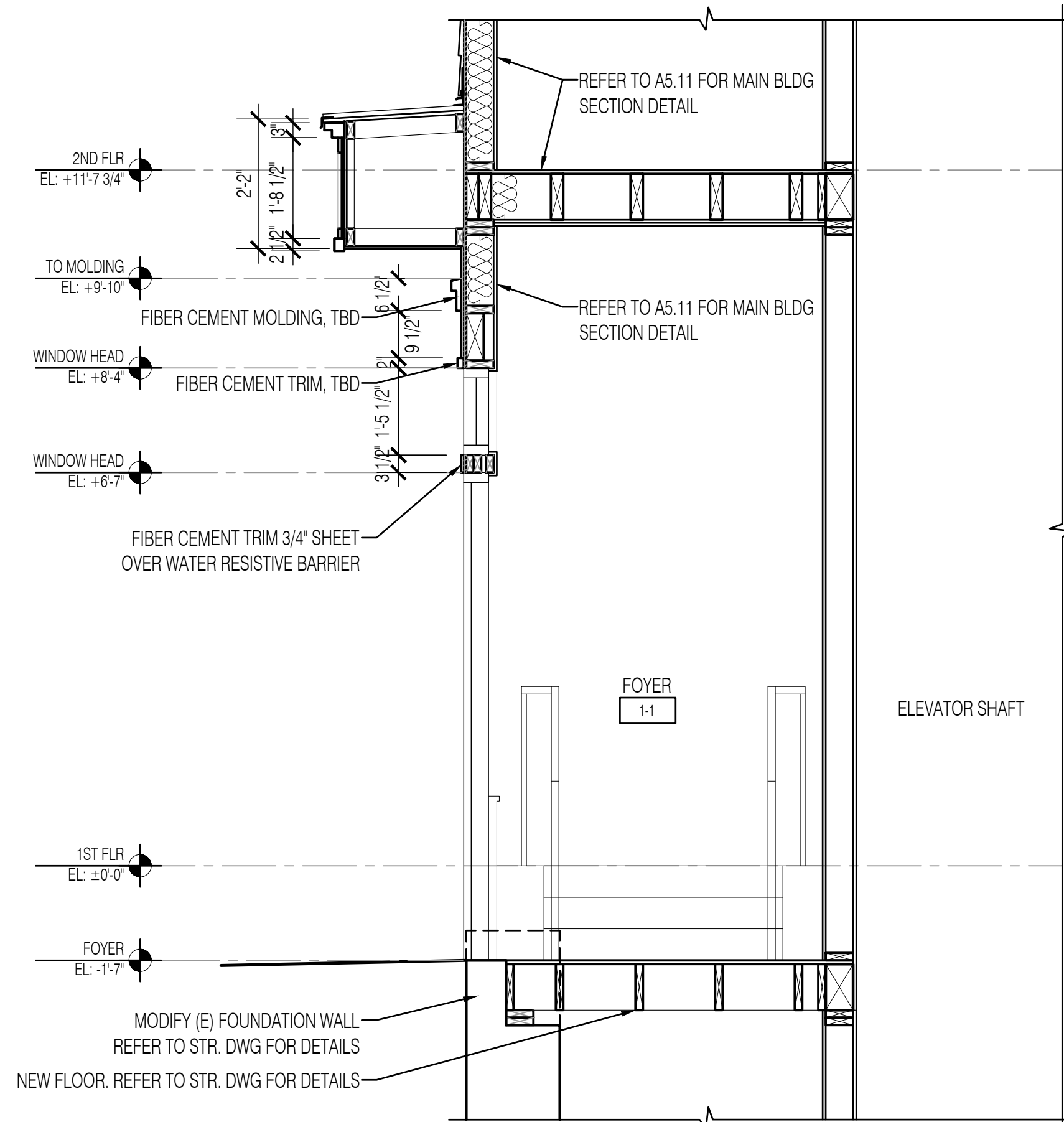




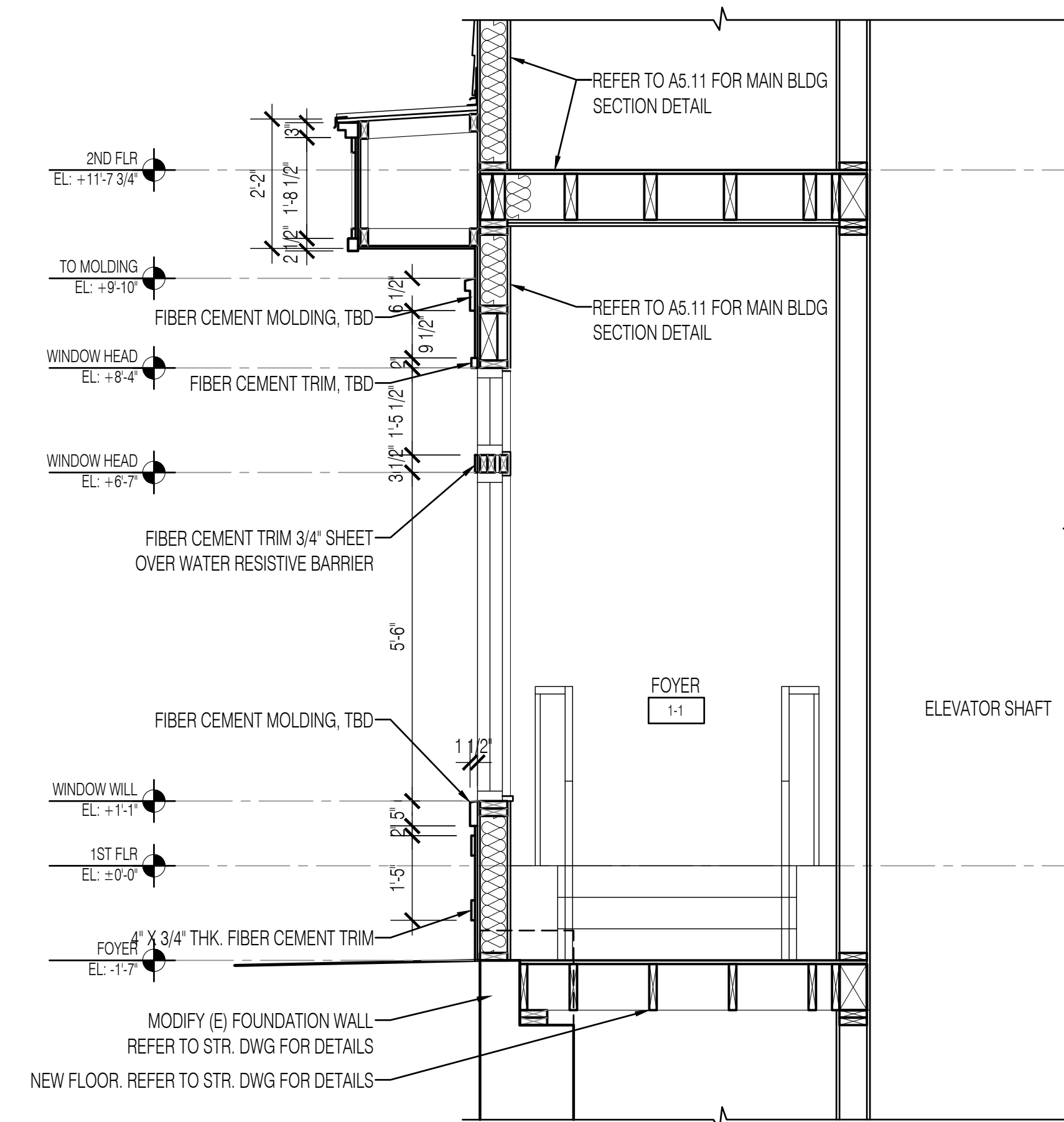
1 ENLARGED PLAN AT FOYER  
SCALE: 1/2"=1'-0" (IF 11 X 17, SCALE: NTS)



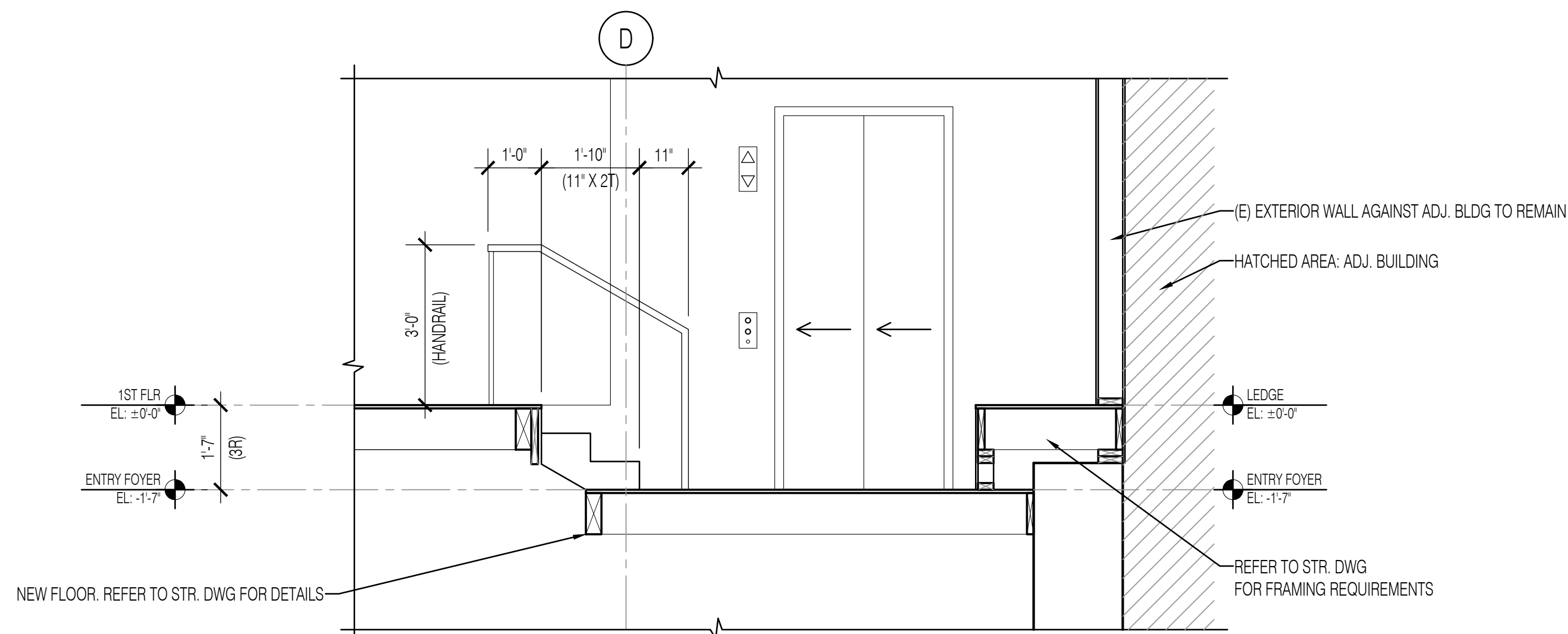
2 ENLARGED ELEVATION AT FOYER  
SCALE: 1/2"=1'-0" (IF 11 X 17, SCALE: NTS)



3 SECTION AT FOYER-1  
SCALE: 1/2"=1'-0" (IF 11 X 17, SCALE: NTS)



4 SECTION AT FOYER-2  
SCALE: 1/2"=1'-0" (IF 11 X 17, SCALE: NTS)



5 SECTION AT FOYER-3  
SCALE: 1/2"=1'-0" (IF 11 X 17, SCALE: NTS)

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PROJECT

Norwescap  
Old Sullivan Building  
Remodeling Project

PROJECT LOCATION  
LOT: 371 S Main Street  
Phillipsburg, NJ 08865  
Warren County

CLIENT:  
NORWESCAP  
350 Marshall Street  
Phillipsburg, NJ 08865

ARCHITECT:  
B HORTEN  
architecture & design  
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Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
PARTIAL DETAIL AT FOYER

Computer File:  
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Phillipsburg\drawings\06 CD Update\A6.03 Partial Det @  
Foyer.dwg

A6.03

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# Norwescap Old Sullivan Building Remodeling Project

PROJECT LOCATION

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Phillipsburg, NJ 08865  
Warren County

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350 Marshall Street  
Phillipsburg, NJ 08865

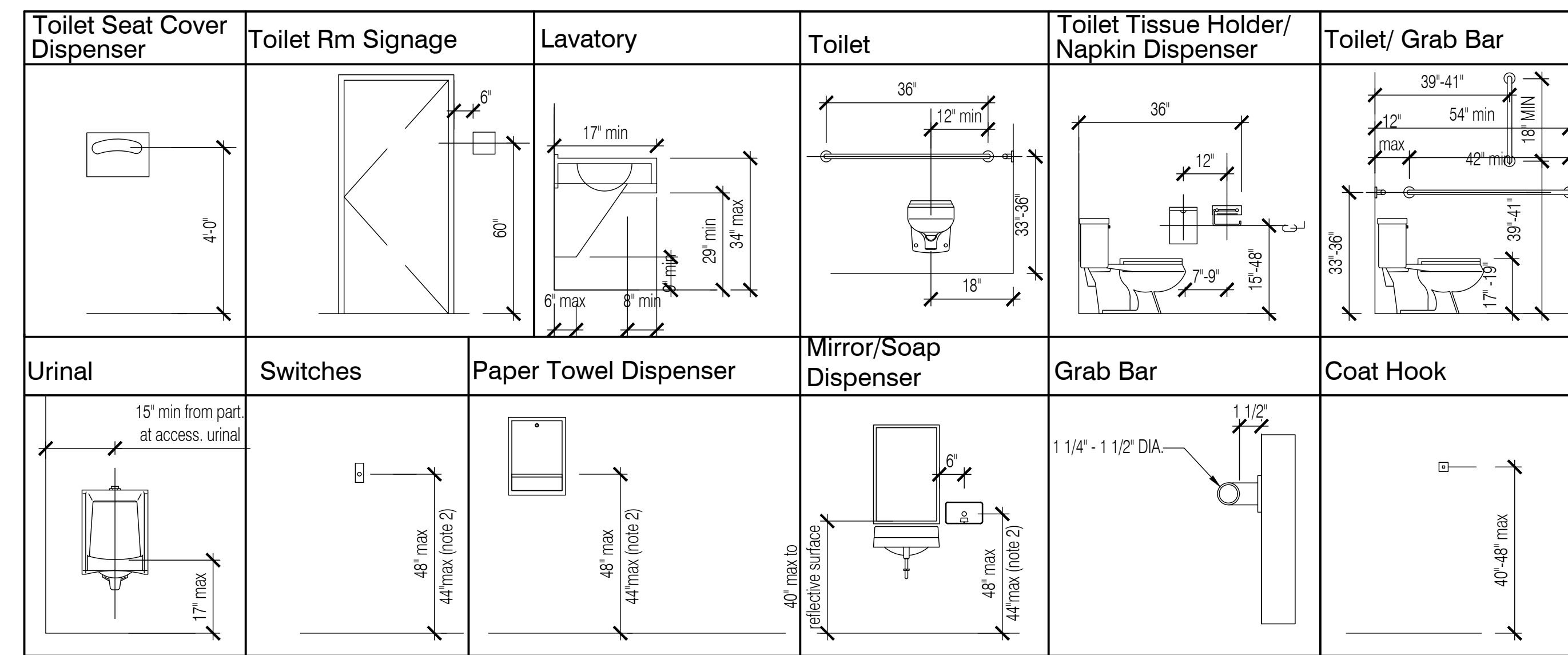
ARCHITECT:

## B HORTEN

architecture & design

312 State Route 10, Randolph, NJ 07869  
Tel: 973.442.5880 Fax: 973.442.5886

CONSULTANT



- Note:
- Mounting height from finished floor to highest operable control
  - 44" max if obstruction such as sink or counter has depth greater than 20"

### 1 FIXTURE MOUNT HEIGHT

SCALE: NTS

### FIXTURE SCHEDULE FOR BATHROOMS

Equipment	Manufacturer	Model #	Finish	Note
01 Toilet	KOHLER	K-5709	Color White	Floor-mount
02 Urinary	KOHLER	K-4917	Color White	Waterless Urinal
03 Sink	KOHLER	K-20000	Color White	Undermount bathroom sink
04 Sink Faucet	Sloan	EBF-425	Brushed Nickel	Battery-Powered Deck-Mounted
05 18" Vertical Grab Bar	Bobrick	B-6806X18	Stainless Steel	Wall Mtd.
06 36" Horiz. Grab Bar	Bobrick	B-6806X36	Stainless Steel	Wall Mtd.
07 42" Horiz. Grab Bar	Bobrick	B-6806X42	Stainless Steel	Wall Mtd.
08 Toilet Paper Dispens.	Bobrick	B-9890	Stainless Steel	Surface Mtd.
09 Combo Unit	Bradley	2297	Stainless Steel	Recessed.
10 Toilet Seat Cover Disp.	Bobrick	B-221	Stainless Steel	Surface Mtd.
11 Autom. Soap Dispenser	Bobrick	B-828	Stainless Steel	Counter-Mounted
12 Mirror	--	--	Frameless	-
13 Coat Hook	Bobrick	B-9542	Stainless steel	Surface Mtd.
14 Wall Sconce	Honest Lighting	Zenda	Metal	Surface Mtd.

ALL ACCESSORIES ARE FOR BIDDING PURPOSE ONLY. COORDINATE W/ PROJECT MANAGER AND OWNER.

### GENERAL NOTES

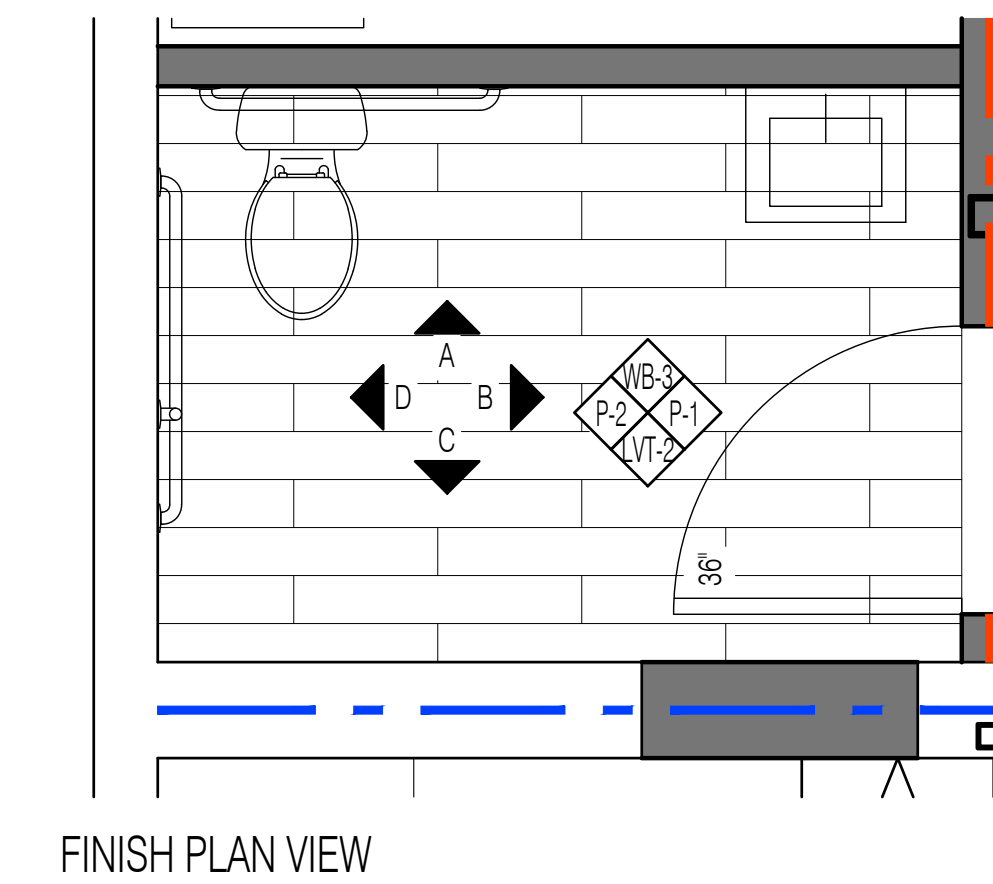
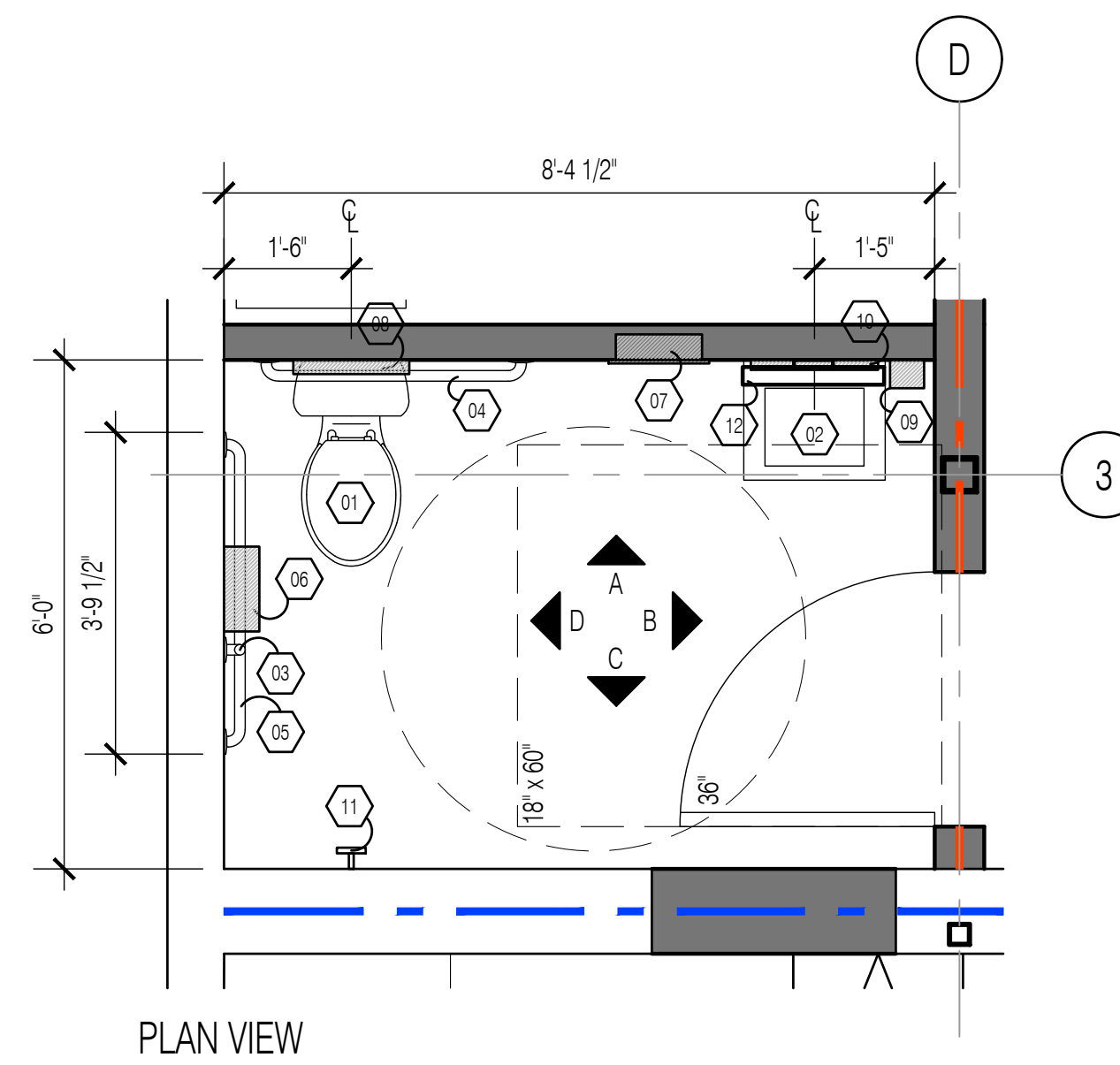
- REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
- COORDINATE SPEC. WITH ALL EXISTING ROUGH PLUMBING AND CARRIER.
- REFER TO FIXTURE SCHEDULE FOR TOILET ACCESSORY SPEC. COORDINATE FINAL SPEC. WITH CLIENT. GC TO PROVIDE CUT-SHEETS & SAMPLES FOR REVIEW AND APPROVAL.
- REFER TO MOUNTING HEIGHTS LEGEND FOR MOUNTING HEIGHTS OF FIXTURES.
- FOR ALL FINISHES REFER TO SHEET A11.SERIES.
- ALL EXPOSED PIPES UNDER LAVATORIES AND SINK TO BE INSULATED TO PROTECT AGAINST CONTACT PER ADA CODE.
- VERIFY EXACT FIXTURE MODEL / FINISH WITH ARCHITECT, PROJECT MGR & OWNER.

### FINISH NOTE

- REFER TO A11.00 FOR FINISH SPEC.
- COORDINATE GENERAL FINISH NOTES WITH GENERAL NOTES ON A11.00.

### 2 FIXTURE & ACCESSORY SCHEDULE

SCALE: NTS

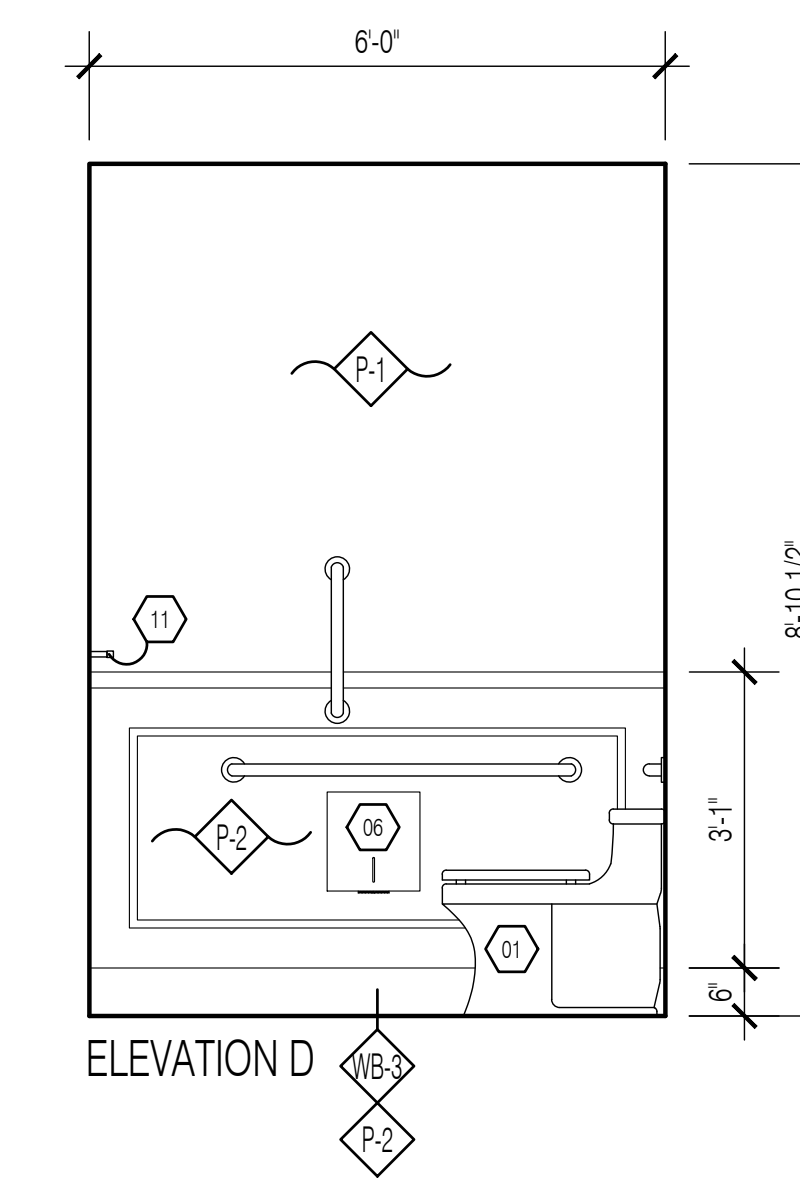
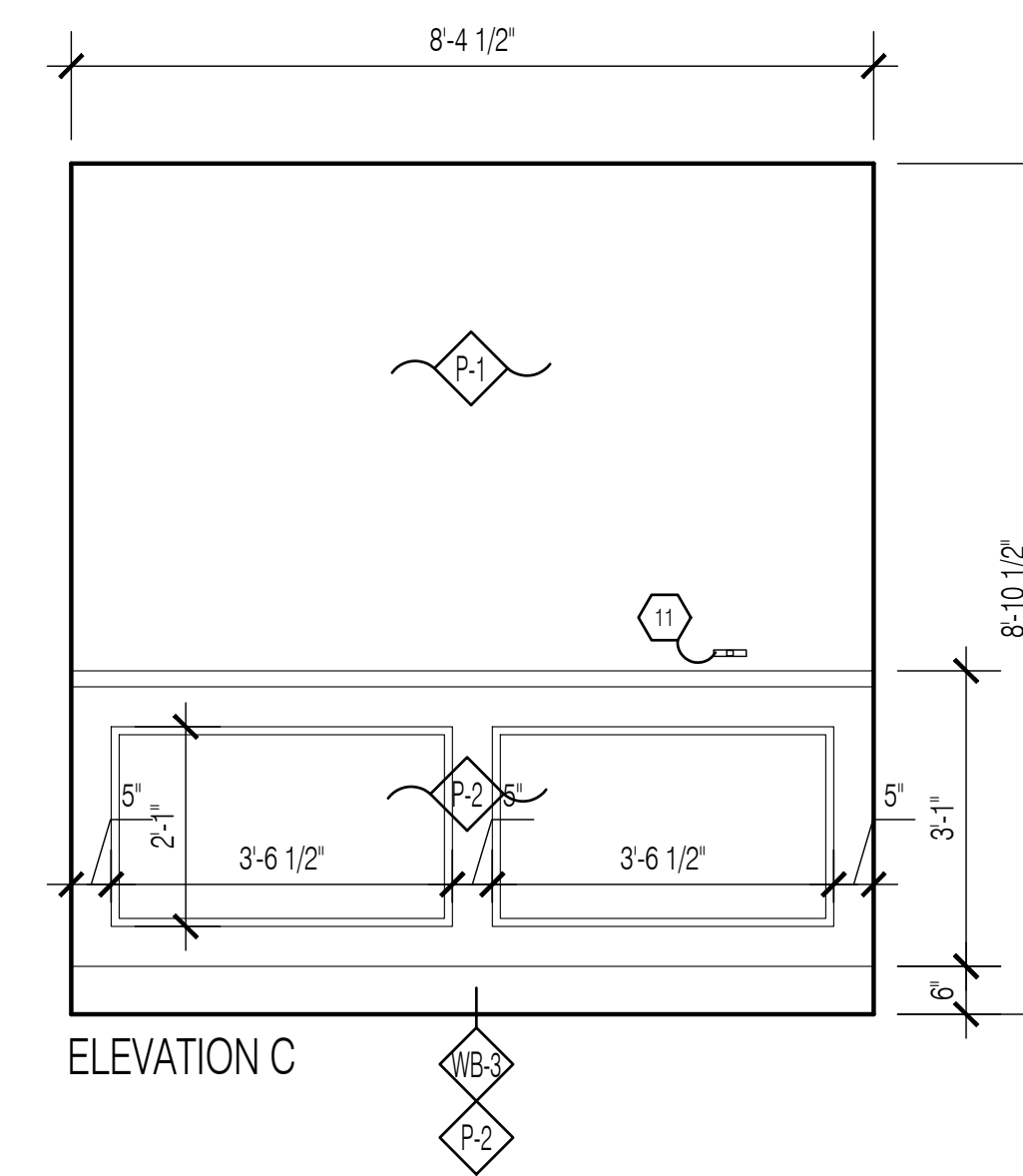
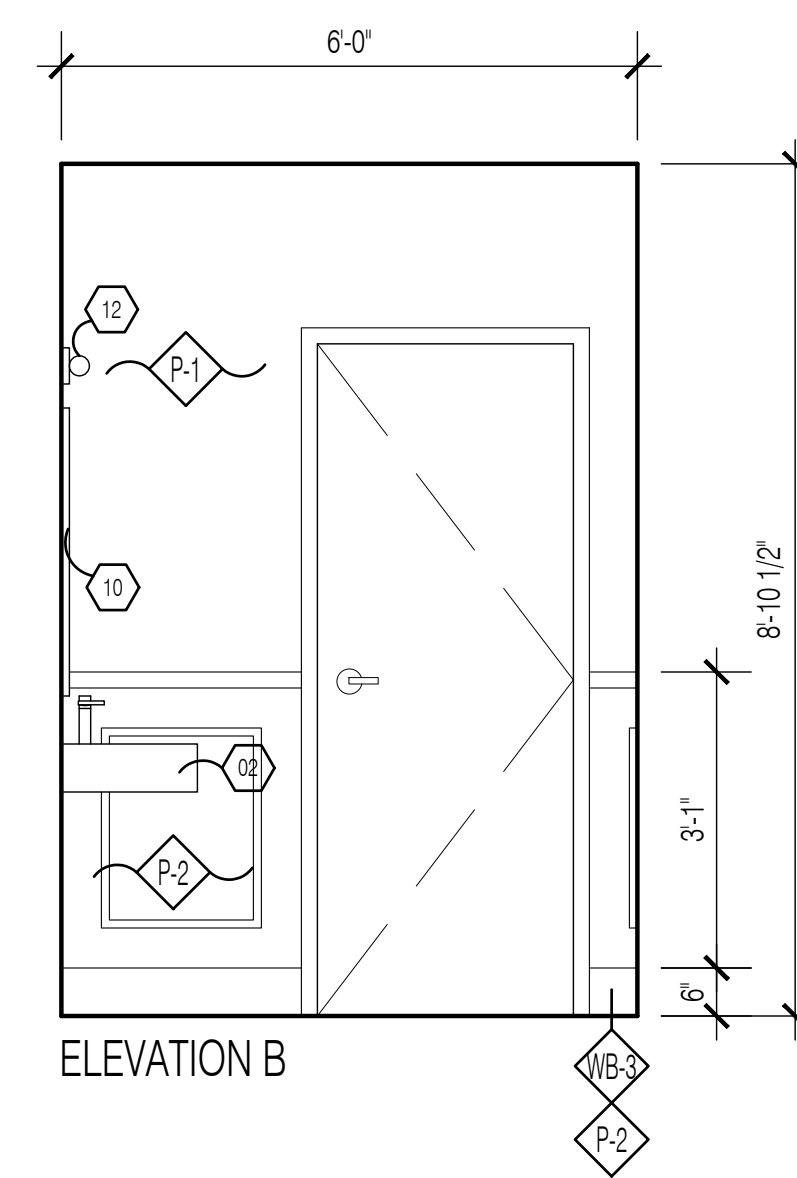
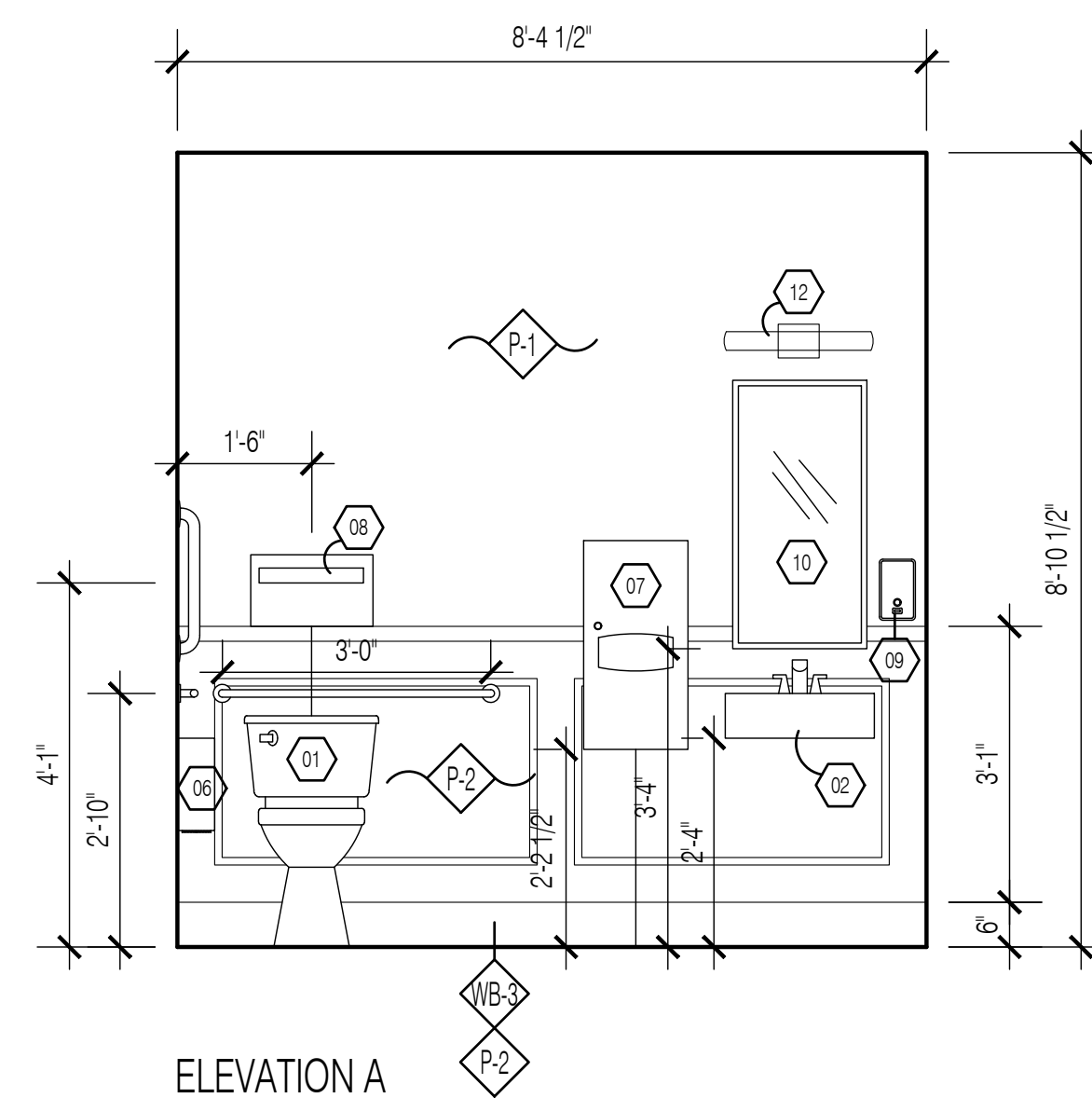


### 3 ENLARGED PLAN: 1ST FLOOR UNISEX TOIL. RM 1-8

SCALE: 1/2"=1'-0" (IF 11 X 17 NTS)

### 4 ENLARGED FINISH PLAN: 1ST FLOOR UNISEX TOIL. RM 1-8

SCALE: 1/2"=1'-0" (IF 11 X 17 NTS)



### 5 ELEVATIONS: 1ST FLOOR UNISEX TOIL. RM 1-8

SCALE: 1/2"=1'-0" (IF 11 X 17 NTS)

Issues and Revisions			
No.	Date	Issues and Revisions	By / Check
1.	03/04/24	FACADE & OFFICE CONCEPT	SA / BH

Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
ENLARGED TOILETS PLAN & ELEVATIONS

Computer File:  
P:\22163 Norwescap Sullivan Bldg 371 S. Main St.  
Phillipsburg\drawings\06 CD Update\A7.01 Enl Toilets.dwg

# A7.01

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# Norwescap Old Sullivan Building Remodeling Project

PROJECT LOCATION

LOT: 371 S Main Street  
BLOCK: Phillipsburg, NJ 08865  
Warren County

CLIENT

**NORWESCAP**  
350 Marshall Street  
Phillipsburg, NJ 08865

ARCHITECT

**B HORTEN**  
architecture & design  
312 State Route 10, Randolph, NJ 07869  
Tel: 973.442.5880 Fax: 973.442.5886

CONSULTANT

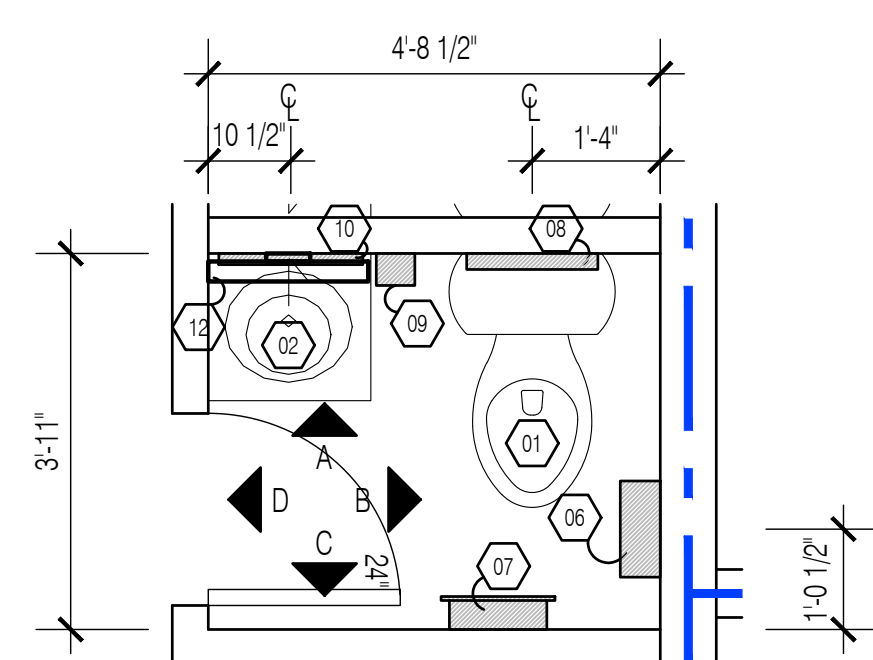
NOTE: REFER TO SHT A7.01 FOR FIXTURE MOUNTING HEIGHTS & FIXTURE SCHEDULE FOR BATHROOMS.

**FINISH NOTE**

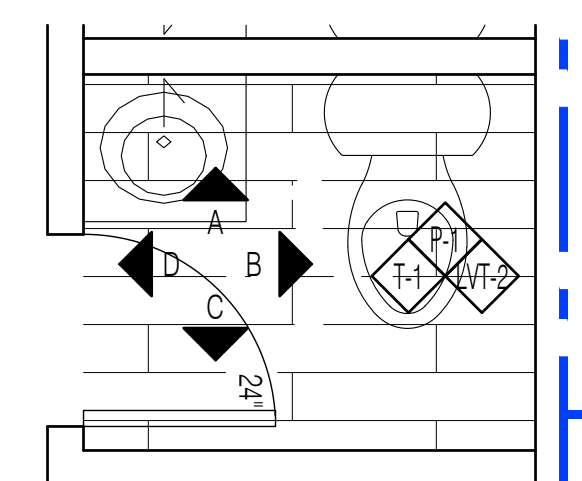
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**GENERAL NOTES**

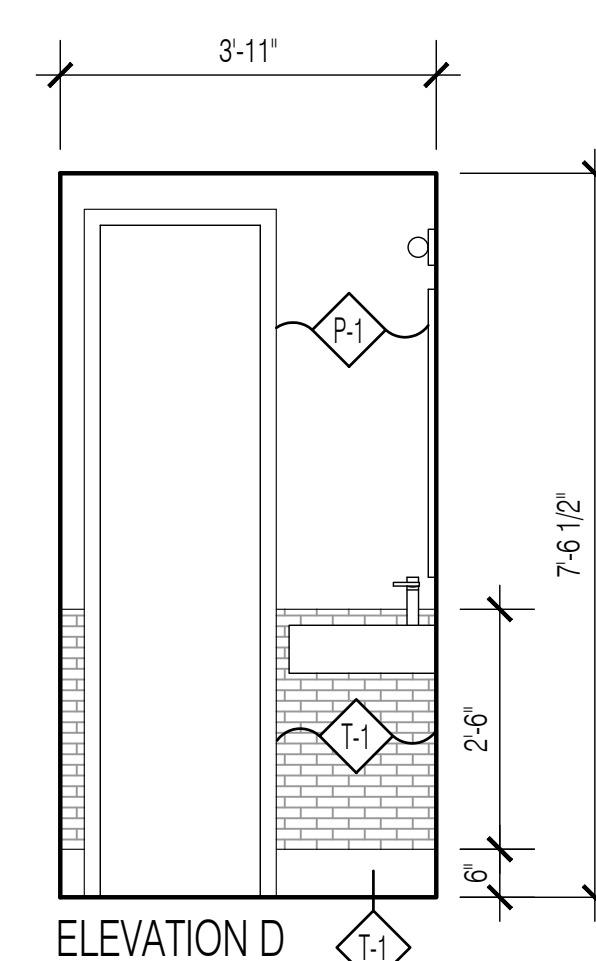
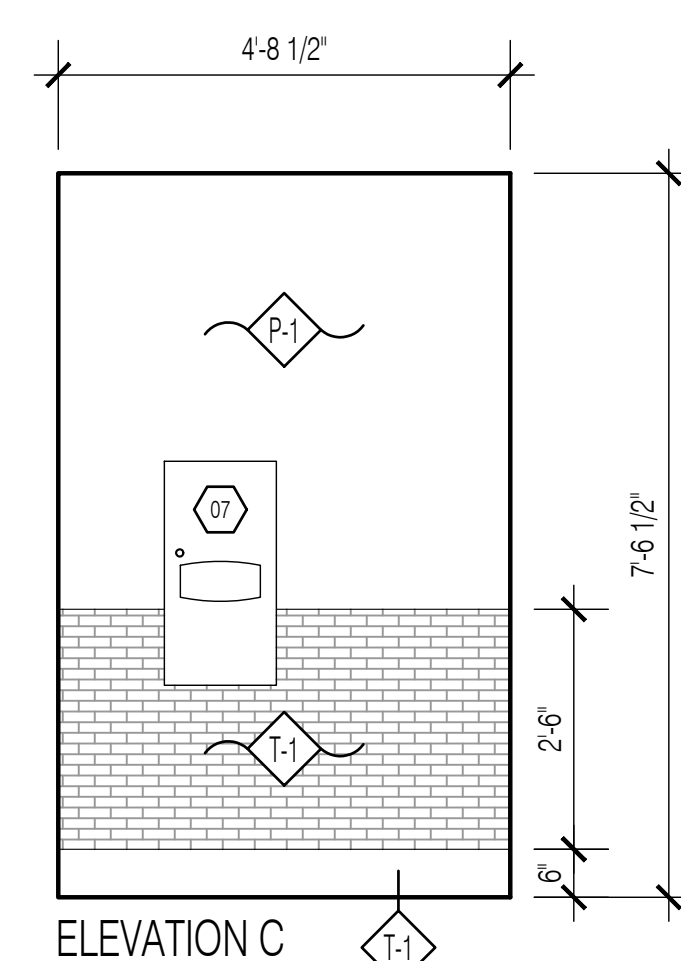
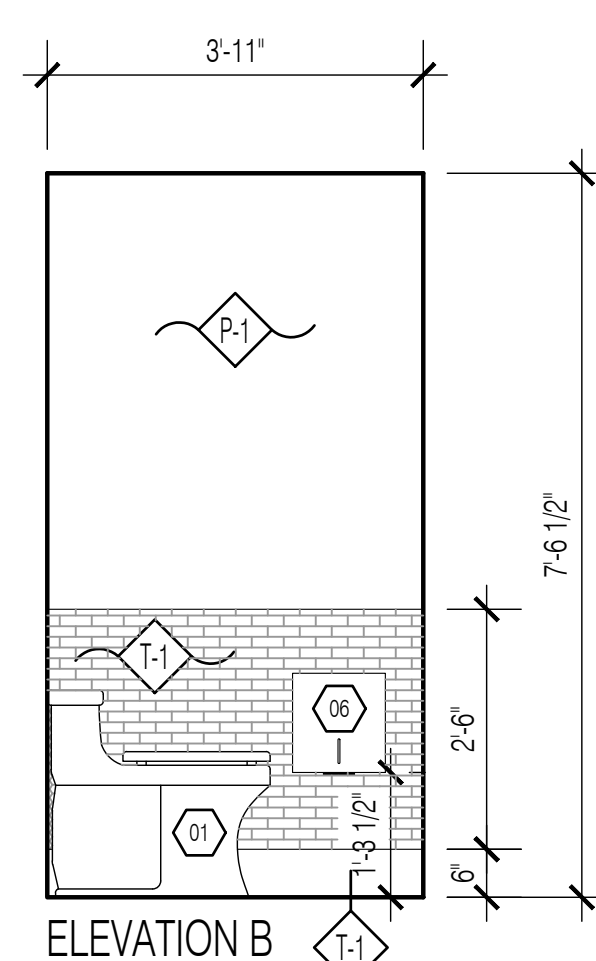
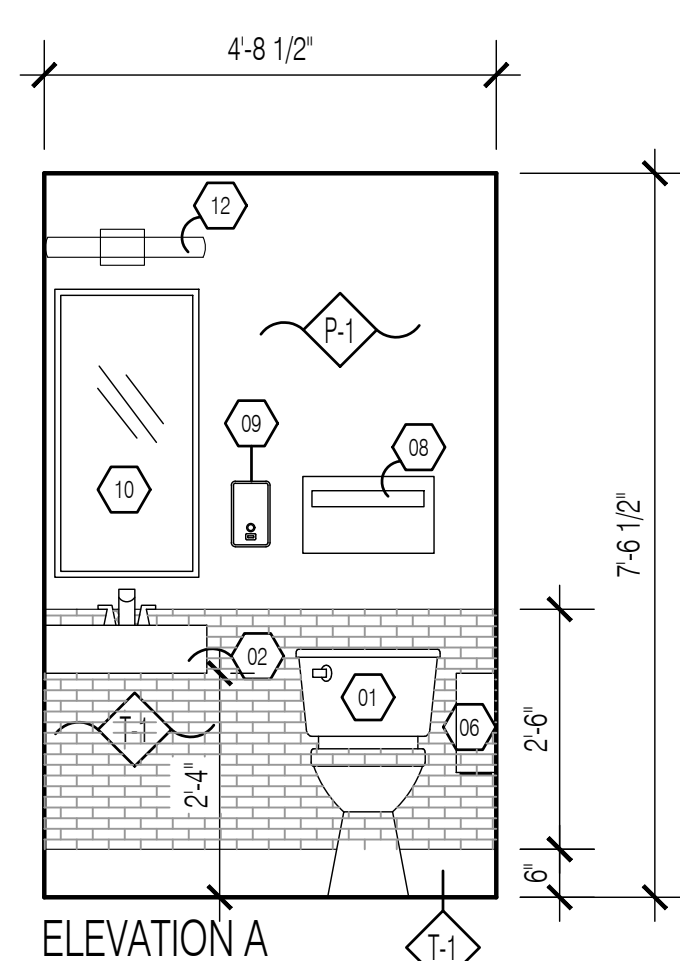
- REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
- COORDINATE SPEC. WITH ALL EXISTING ROUGH PLUMBING AND CARRIER.
- REFER TO FIXTURE SCHEDULE FOR TOILET ACCESSORY SPEC. COORDINATE FINAL SPEC. WITH CLIENT. GC TO PROVIDE CUT-SHEETS & SAMPLES FOR REVIEW AND APPROVAL.
- REFER TO MOUNTING HEIGHTS LEGEND FOR MOUNTING HEIGHTS OF FIXTURES.
- FOR ALL FINISHES REFER TO SHEET A11 SERIES.
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- VERIFY EXACT FIXTURE MODEL / FINISH WITH ARCHITECT, PROJECT MGR & OWNER.



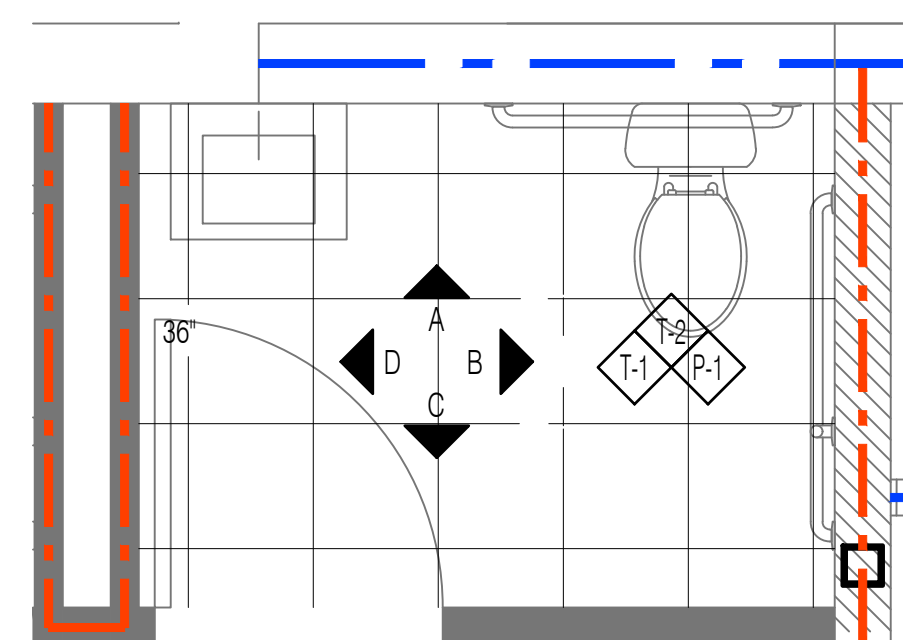
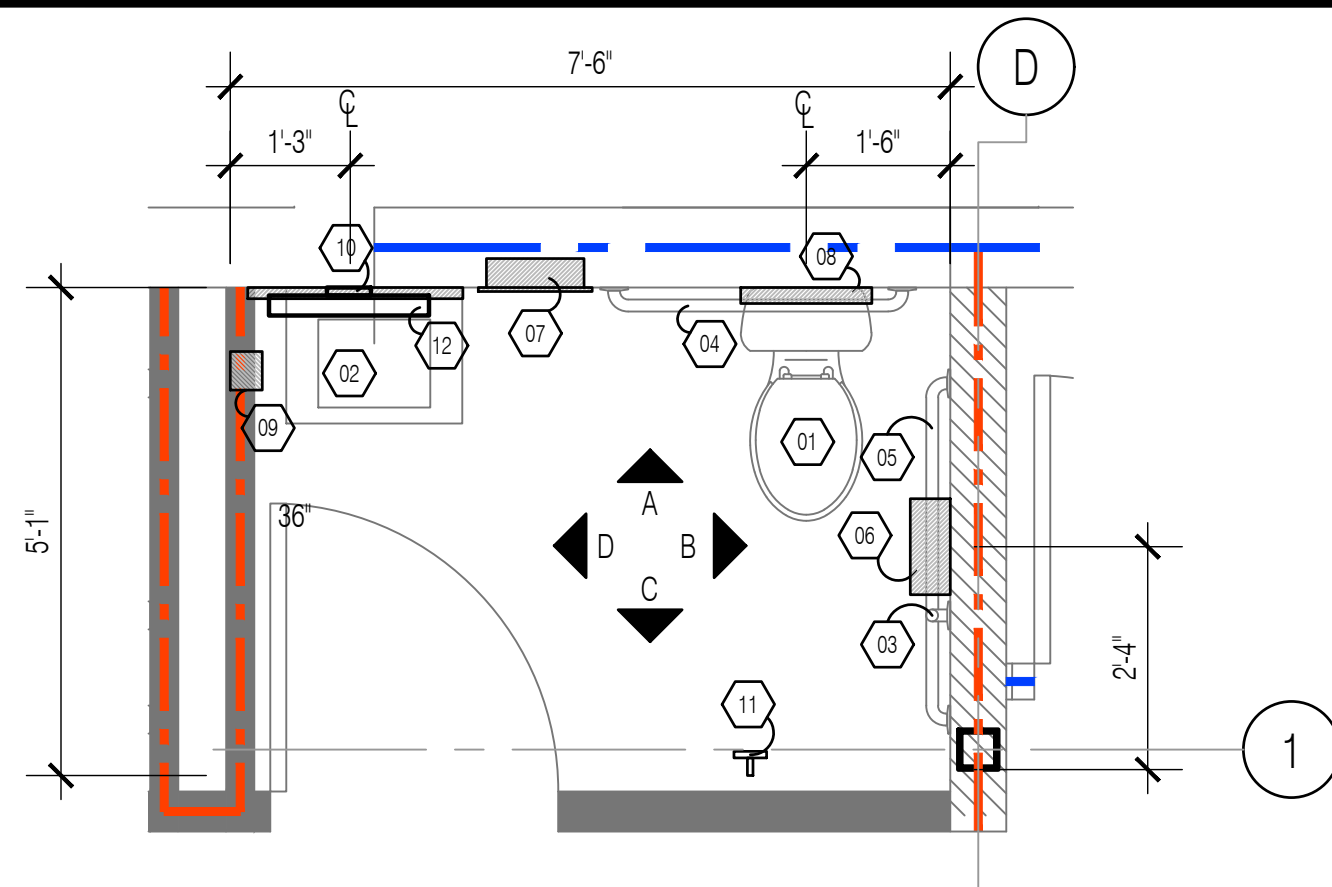
**1 ENLARGED PLAN: 1ST FLOOR TOILET 1-6**  
SCALE: 1/2"=1'-0" (IF 11 X 17 NTS)



**2 ENLARGED FINISH PLAN: 1ST FLOOR TOILET 1-6**  
SCALE: 1/2"=1'-0" (IF 11 X 17 NTS)

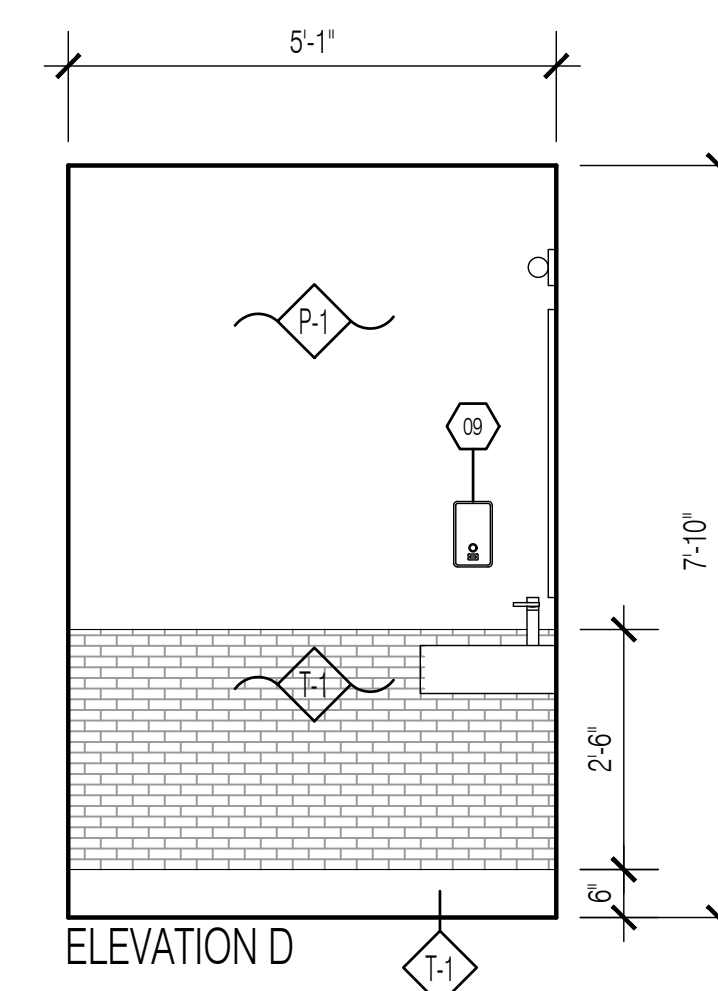
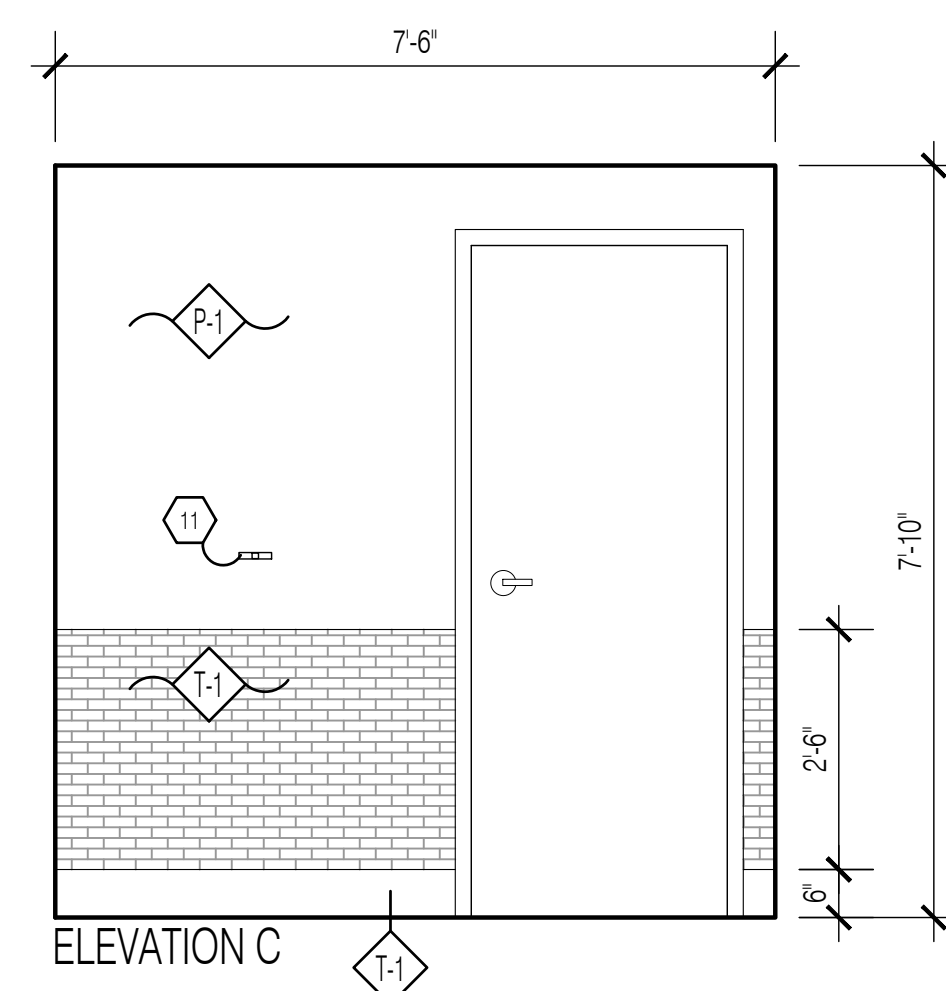
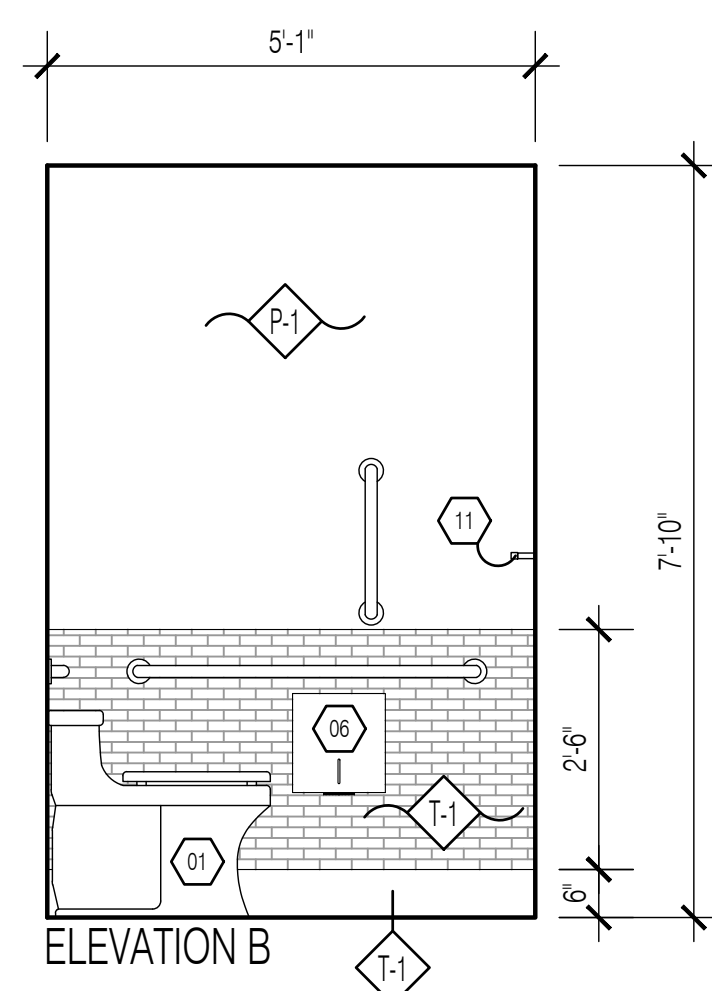
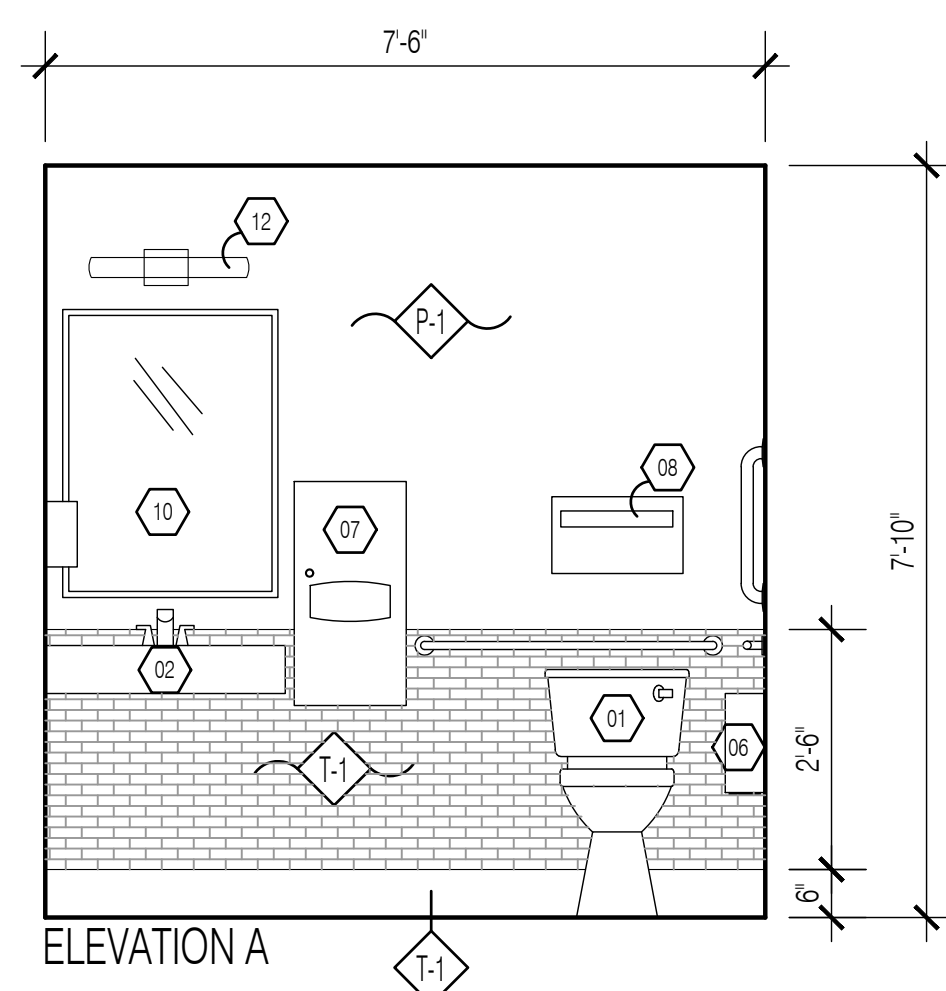


**3 ELEVATIONS: 1ST FLOOR TOILET 1-6**  
SCALE: 1/2"=1'-0" (IF 11 X 17 NTS)



**4 ENLARGED PLAN: 2ND FLOOR UNISEX TOIL. RM 2-4**  
SCALE: 1/2"=1'-0" (IF 11 X 17 NTS)

**5 ENLARGED FINISH PLAN: 2ND FLOOR UNISEX TOIL. RM 2-4**  
SCALE: 1/2"=1'-0" (IF 11 X 17 NTS)



**6 ELEVATIONS: 2ND FLOOR UNISEX TOIL. RM 2-4**  
SCALE: 1/2"=1'-0" (IF 11 X 17 NTS)

No.	Date	Issues and Revisions	By	Check
1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
ENLARGED TOILETS PLAN & ELEVATIONS

Computer File:  
P:\22163 Norwescap Sullivan Bldg 371 S. Main St.  
Phillipsburg\drawings\06 CD Update\A7.01 Enl Toilets.dwg

# Norwescap Old Sullivan Building Remodeling Project

## PROJECT LOCATION

LOT: BLOCK:  
371 S Main Street  
Phillipsburg, NJ 08865  
Warren County

## CLIENT

**NORWESCAP**  
350 Marshall Street  
Phillipsburg, NJ 08865

## ARCHITECT

**B HORTEN**  
architecture & design  
312 State Route 10, Randolph, NJ 07869  
Tel: 973.442.5880 Fax: 973.442.5886

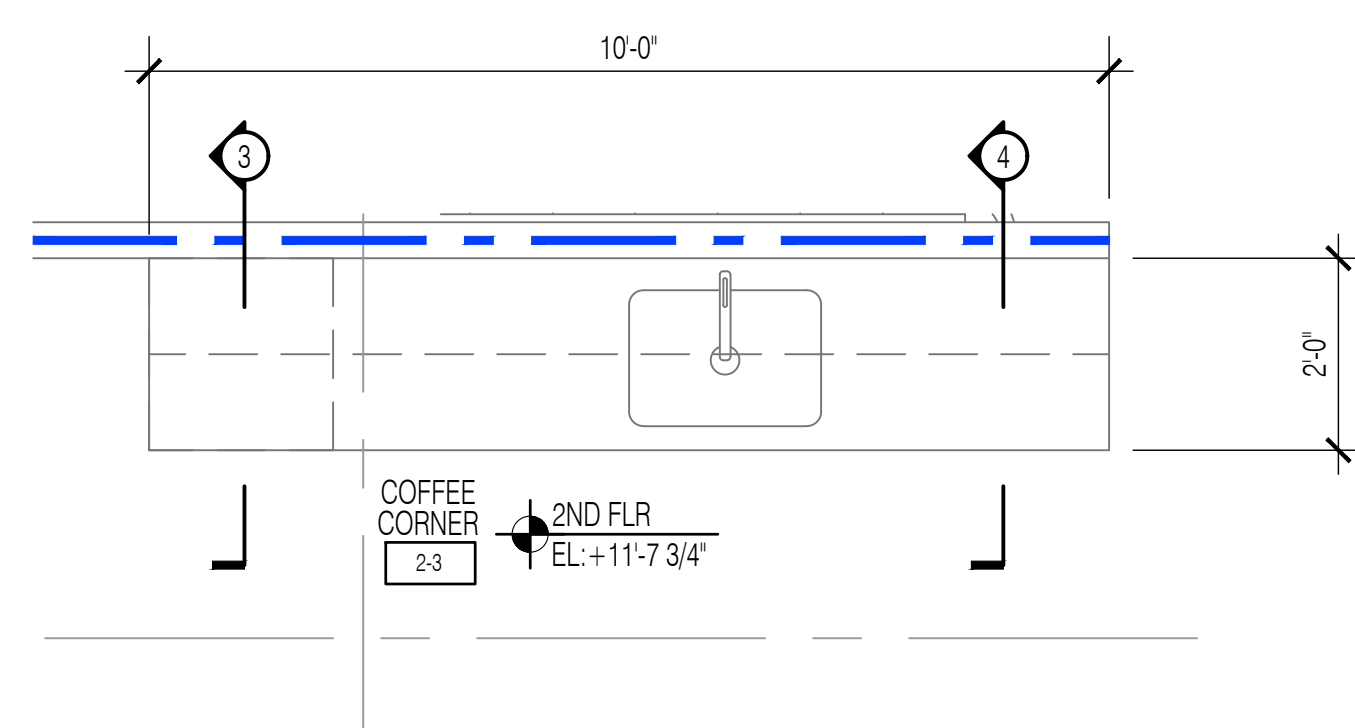
## CONSULTANT

## GENERAL NOTES

- REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
- REFER TO MEP ENGINEER'S DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING, AND HVAC SYSTEMS.
- ALL APPLIANCES TO BE SELECTED AND PROVIDED BY TENANT AND INSTALLED BY GC. GC TO COORDINATE ALL MILLWORK REQUIREMENTS W/ APPLIANCE SPECIFICATIONS.
- PROVIDE ALL NECESSARY SUPPORT AND BLOCKING FOR MILLWORK.
- FOR ALL FINISHES REFER TO SHEET A11 SERIES.

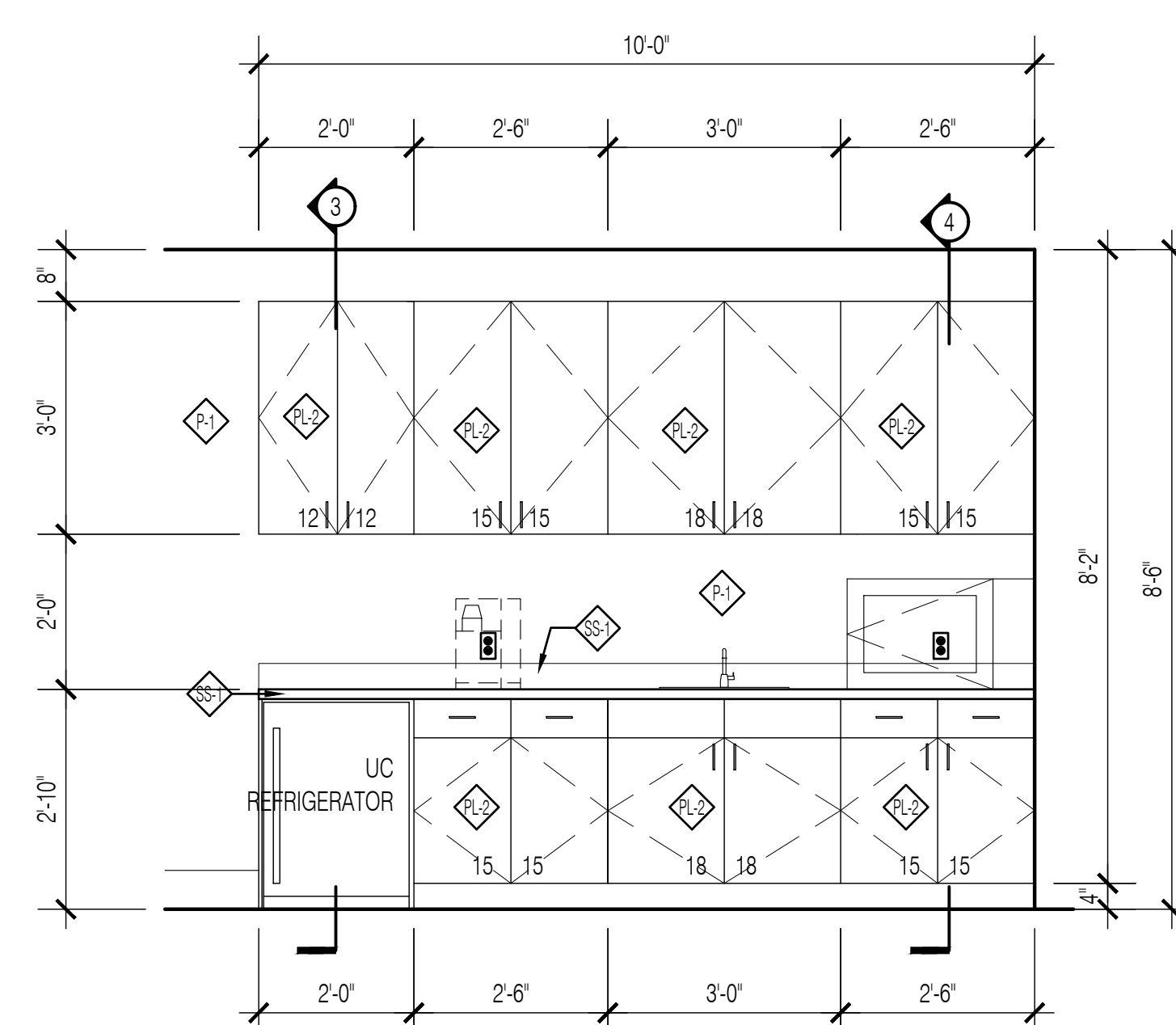
## FINISH NOTE

- REFER TO A11.00 FOR FINISH SPEC.
- COORDINATE GENERAL FINISH NOTES WITH GENERAL NOTES ON A11.00.



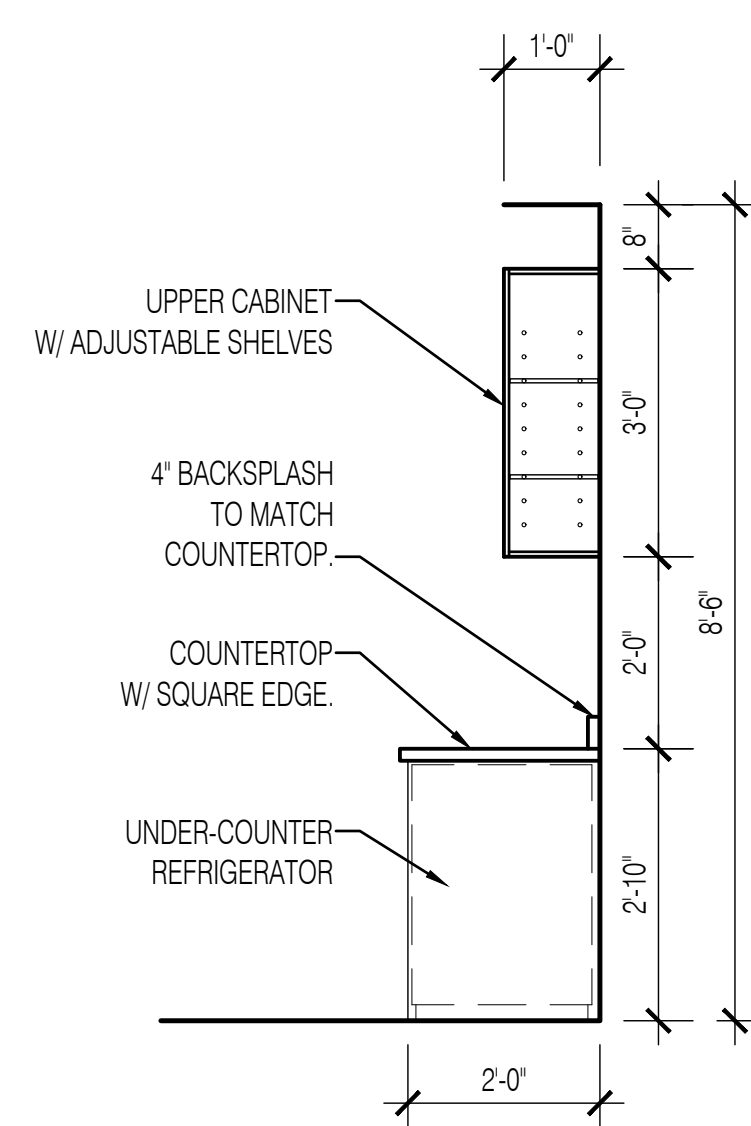
## 1 ENLARGED PLAN AT COFFEE CORNER

SCALE: 1/2"=1'-0" (IF 11 X 17 NTS)



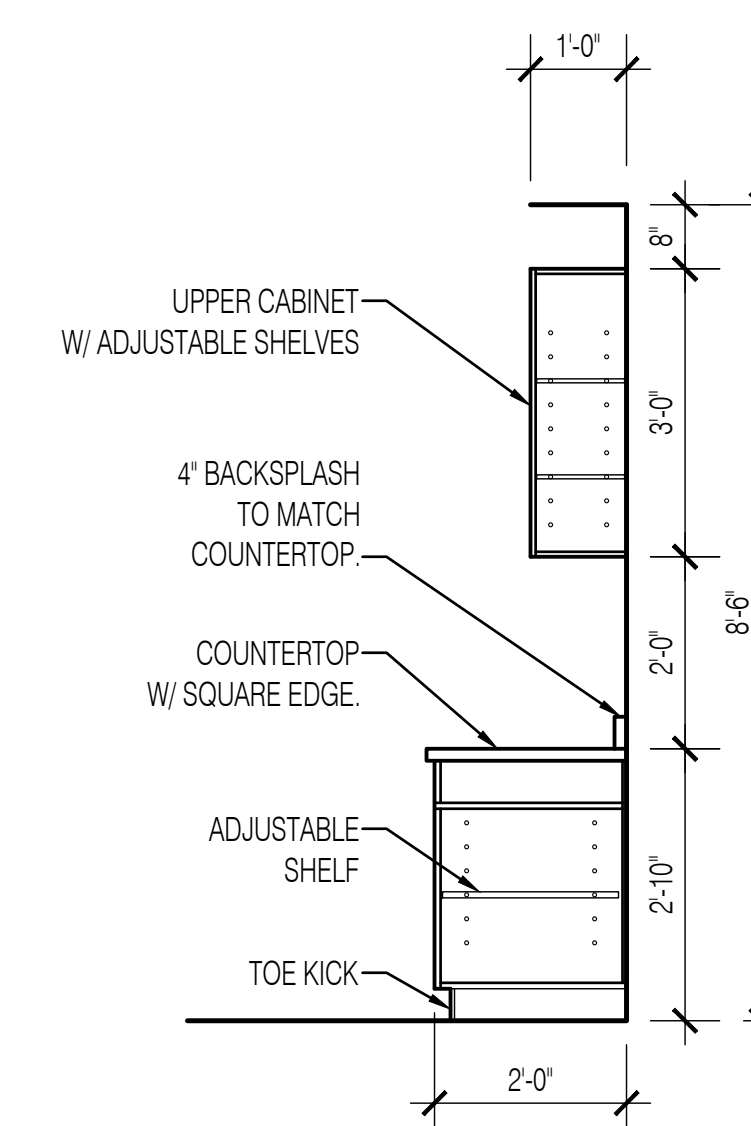
## 2 ENLARGED ELEVATION AT COFFEE CORNER

SCALE: 1/2"=1'-0" (IF 11 X 17 NTS)



## 3 SECTION AT COFFEE CORNER-1

SCALE: 1/2"=1'-0" (IF 11 X 17 NTS)



## 4 SECTION AT COFFEE CORNER-2

SCALE: 1/2"=1'-0" (IF 11 X 17 NTS)

## Issues and Revisions

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1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

## Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
ENLARGED DETAIL MILLWORK

Computer File:  
P:\22163 Norwescap Sullivan Bldg 371 S. Main St.  
Phillipsburg\drawings\06 CD Update\A8.01 Det Millwork.dwg

# A8.01

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**GENERAL NOTES:**

- REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
- THIS DRAWING IS FOR REFERENCE ONLY. REFER TO ELEVATOR MANUFACTURER'S SHOP DRAWINGS FOR DETAILS.
- ALL INTERIOR FINISHES TO BE FACTORY PRE-FINISHED PANEL AND/OR SHEET METAL. GC TO PROVIDE ARCHITECT WITH AVAILABLE FINISH CHART.
- REFER TO A2 SERIES CONSTRUCTION PLANS & STRUCTURAL DRAWINGS FOR HOISTWAY CONSTRUCTION DETAILS. NOTE: ALL SHAFT WALL & FLOOR/CEILING ASSEMBLIES ARE 1HR FIRE RATED.

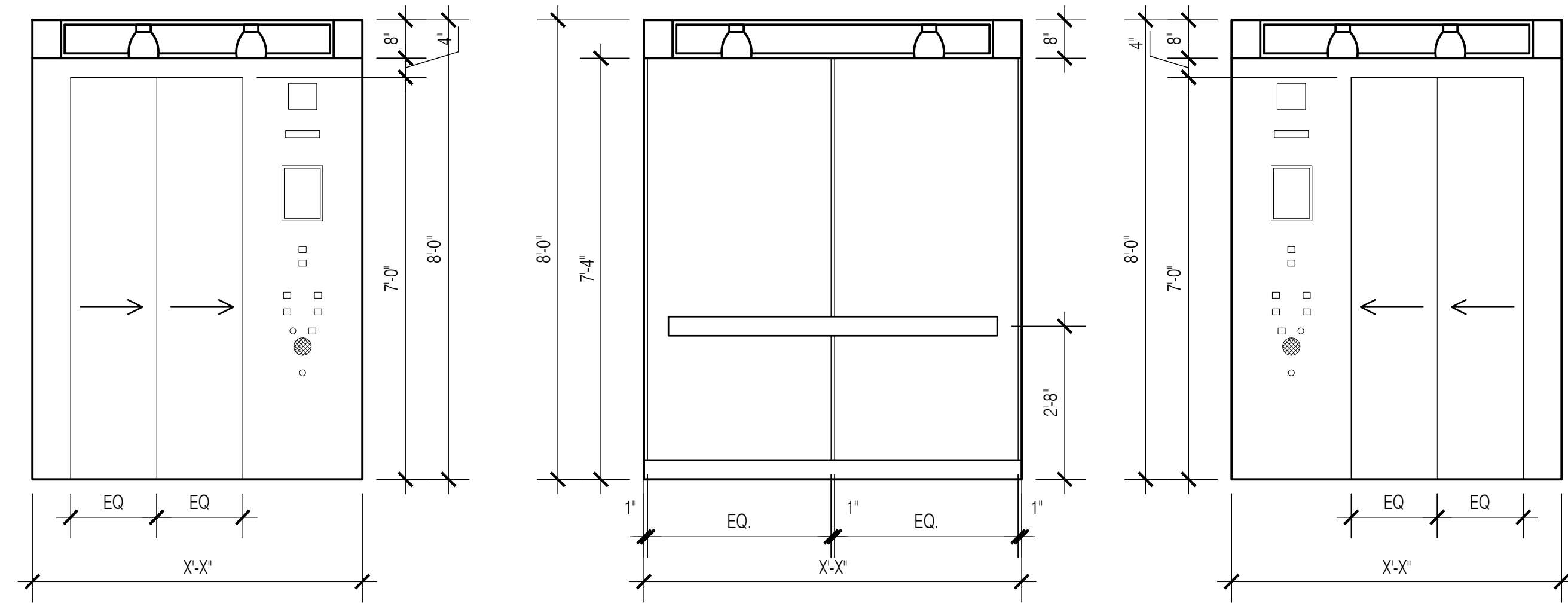
**GENERAL ELEVATOR SPECIFICATIONS:**

- OUTLINE OF EQUIPMENT
  - APPLICATION: MRL LULU, PASSENGER.
  - LOAD CAPACITY: 1,400 LB
  - SPEED: 30 FPM MAX
  - DRIVE: COUNTERWEIGHT TRACTION W/ SLACK CABLE SAFETY DEVICE
  - NUMBER OF STOPS: 4
  - FIRE RESISTANCE RATING: 1 HR
- DESIGN BASIS PRODUCT MAKE & MODEL
  - ORION MRL LULU MODEL 4852(2) BY SAVARIA
- PROVIDE DETAILED SHOP DRAWINGS FOR ELEVATOR AND ALL RELATED EQUIPMENT FOR REVIEW & APPROVAL PRIOR TO FABRICATION.
- COMPLY WITH ASME A17.1 SAFETY CODE FOR ELEVATORS OR ANY OTHER MORE STRINGENT REQUIREMENTS BY LOCAL REGULATIONS.
- HYDRAULIC PIPE TO CONFORM TO ASTM A106, GRADE B, SEAMLESS, IF APPLICABLE.
- COMPLY WITH NFPA FOR ALL ITEMS RELATED TO FIRE REGULATIONS.
- COMPLY WITH A117.1-2017 SECTION 408 FOR ACCESSIBILITY REQUIREMENTS.
- ALL SIGNAGE, LANTERNS, INDICATORS, SIGNALS, ETC RELATED TO ELEVATOR OPERATION TO BE PROVIDED BY ELEVATOR MANUFACTURER.

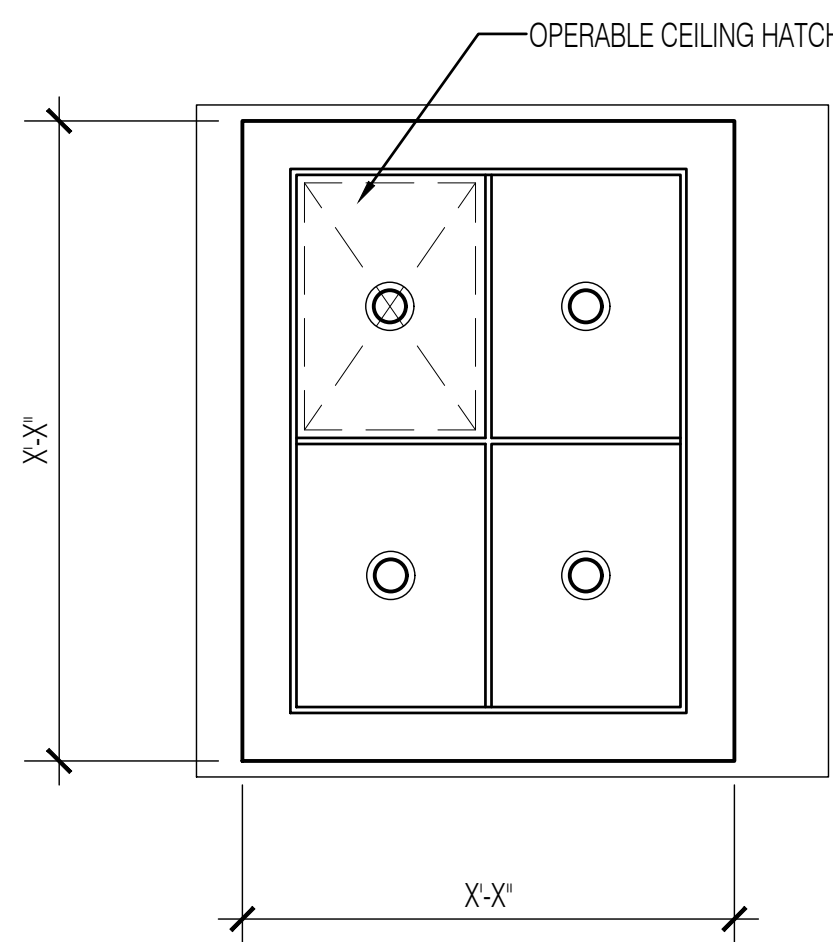
**KEY NOTES:**

- REFUGE SPACE ON TOP OF CAR ENCLOSURE GC & ELEVATOR CONTRACTOR TO VERIFY ELEVATOR TOP CLEARANCE REQUIREMENTS PER ASME 17.1. PROVIDE ALTERNATE TOP CAR CLEARANCE DEVICE IF REQUIRED. GC TO COORDINATE ALL SPACE REQUIREMENTS WITH ELEVATOR MANUFACTURER PRIOR TO ORDERING.
- MAINTENANCE LIGHT. GC TO COORDINATE IN FIELD.
- FRONT SHAFT WALL WHERE MRL ELEVATOR EQUIPMENT IS LOCATED IN 3RD FLOOR. MINIMUM 8" THICK WALL IS REQUIRED TO ACCOMMODATE ELEVATOR EQUIPMENT. PROVIDE 2X8 STUD IN 3RD FLOOR OR FURRING CHANNEL TO MAKE WALL THICKER THAN 8". COORDINATE STR. DWG FOR STRUCTURAL DETAIL.
- PROVIDE 1HR FIRE RATED CEILING ASSEMBLY. COORDINATE DETAILS W/ DETAIL #6/A0.07.
- PROVIDE ACCESS LADDER TO PIT. COORDINATE LOCATION W/ MFG MANUFACTURER IN FIELD.
- PROVIDE 18X18X18 SUMP PUMP. REFERE TO STR & MEP DWG FOR DETAILS.
- PROVIDE ROOF FAN W/ BUILT-IN TEMPERATURE & HUMIDITY SENSOR. GC TO FIELD COORDINATE ROOF CURB & ROOFING TERMINATION DETAILS W/ MFGS SPEC. VERIFY EXACT EXACT LOCATION IN FIELD WITH EXISTING STRUCTURAL MEMBERS.
- ELEVATOR LIFTING BEAM AHEAD. GC TO COORDINATE LIFTING BEAM DETAILS & HEIGHT WITH ELEVATOR MANUFACTURER'S SPECIFICATIONS AS WELL AS FIELD CONDITION. NOTE: PER ELEVATOR MANUFACTURER'S SPECIFICATIONS, IF UNDERSIDE BEAM IS AT 10" ABOVE 3RD FLOOR IT MUST BE TEMPORARY.

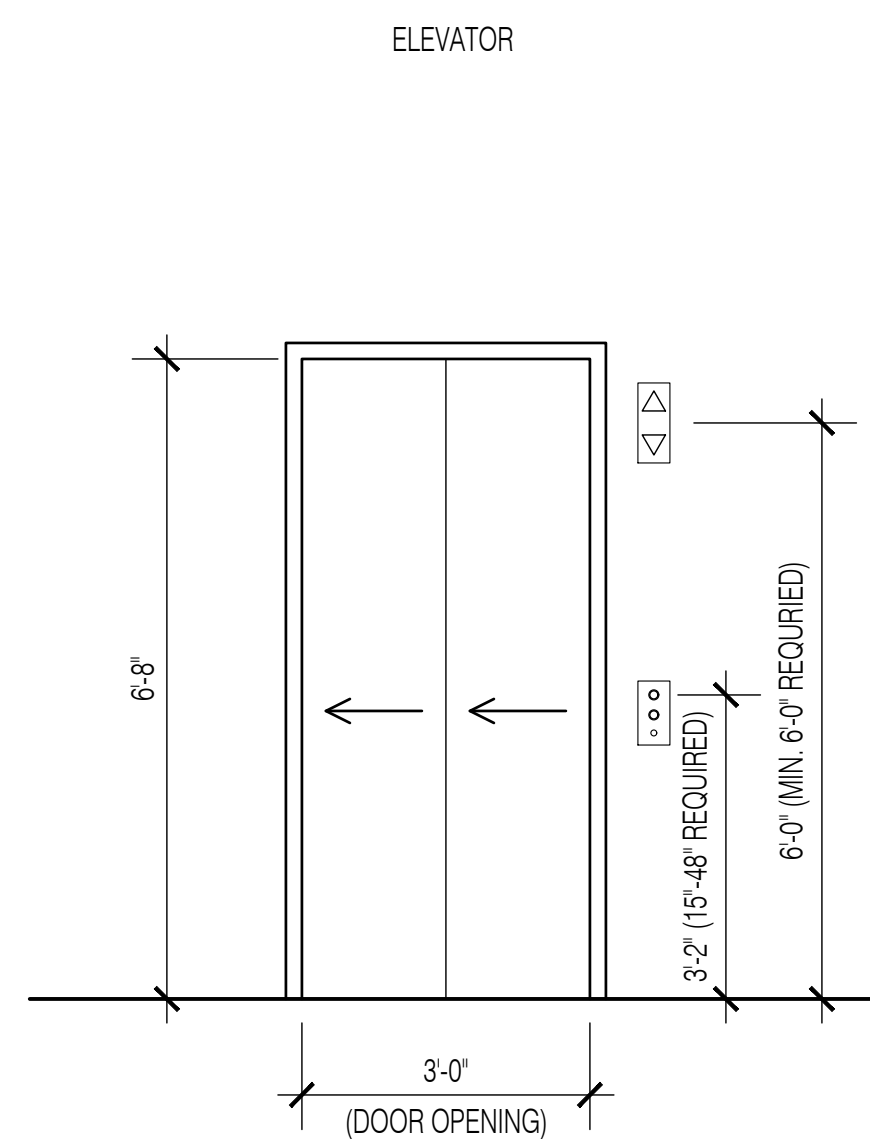
**1 INTERIOR ELEVATION @ ELEVATOR CABIN**  
SCALE: 1/2" = 1'-0" (IF 11X17: NTS)



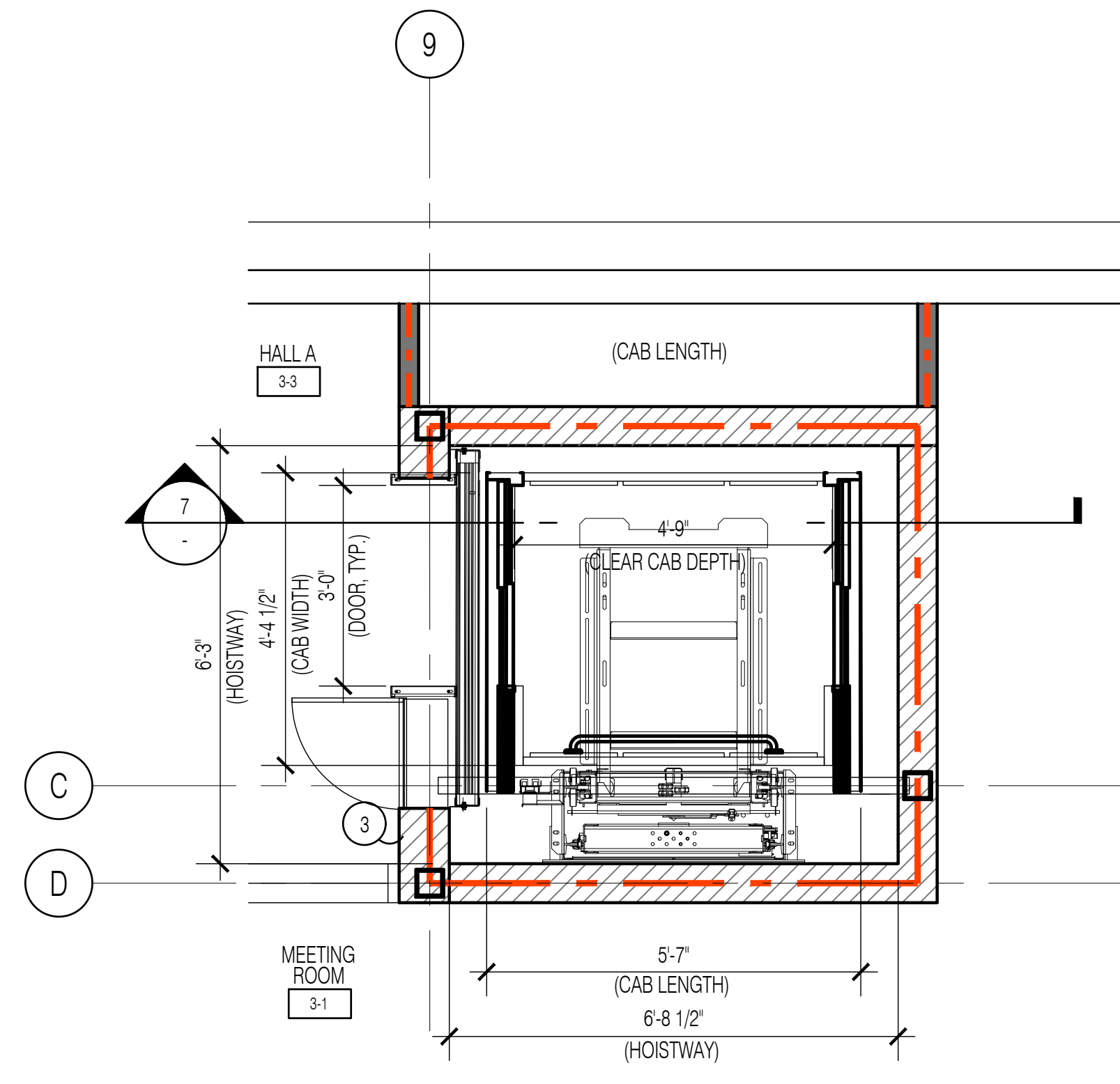
**2 RCP @ ELEVATOR CABIN**  
SCALE: 1/2" = 1'-0" (IF 11X17: NTS)



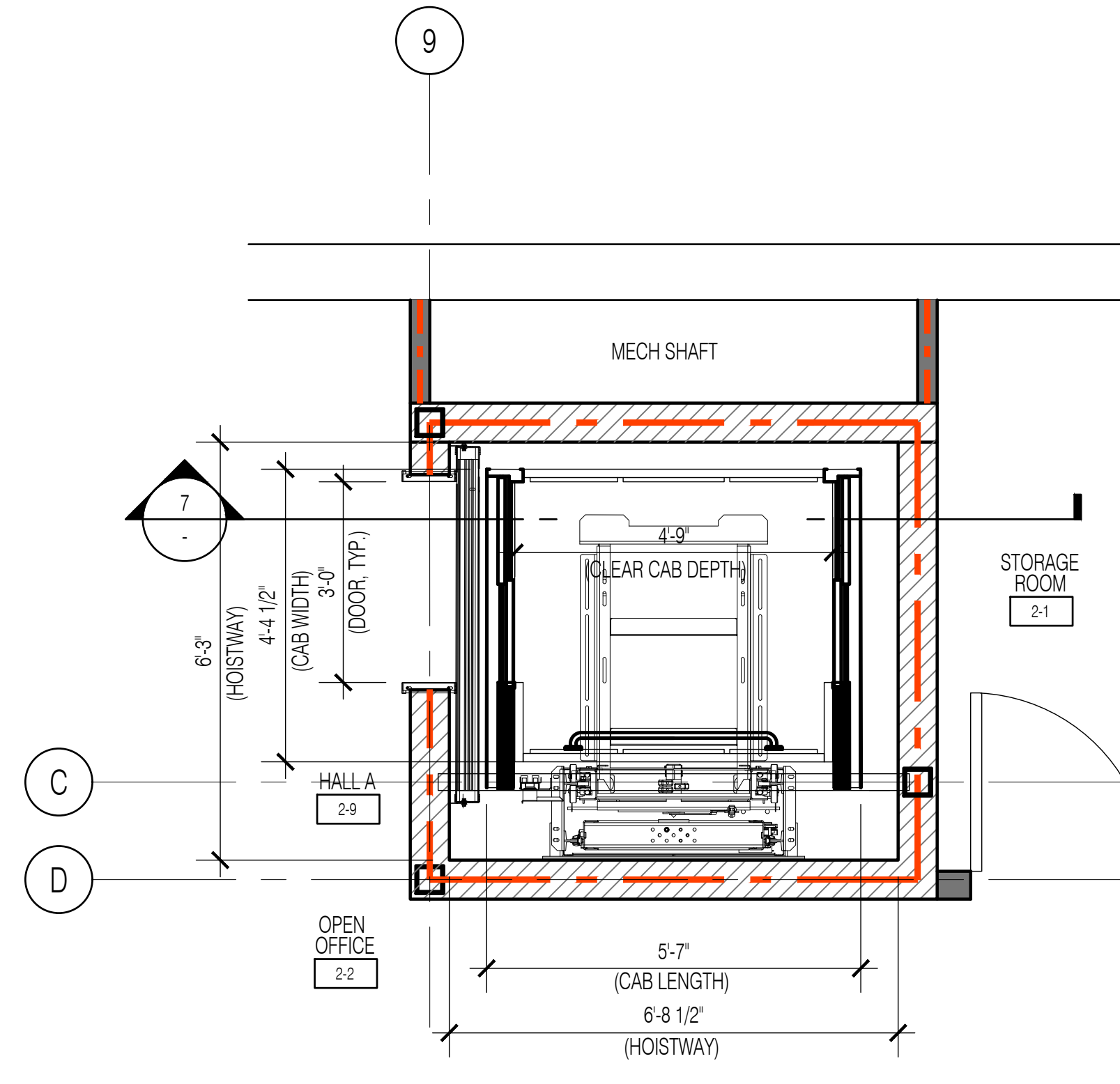
**3 ELEVATION @ DOOR**  
SCALE: 1/2" = 1'-0" (IF 11X17: NTS)



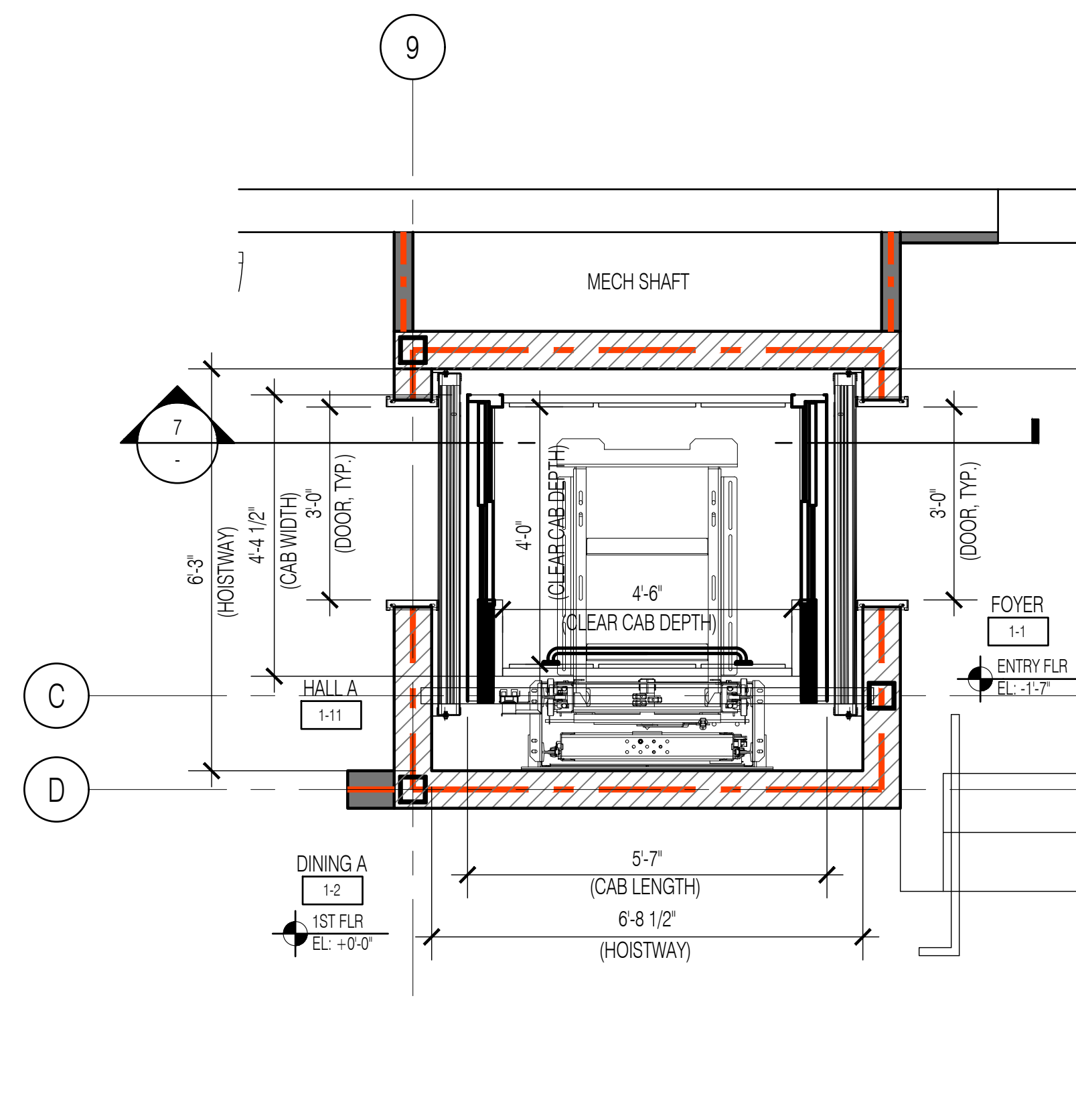
**6 ELEVATOR SHAFT PLAN @ 3RD FLOOR**  
SCALE: 1/2" = 1'-0" (IF 11X17: NTS)



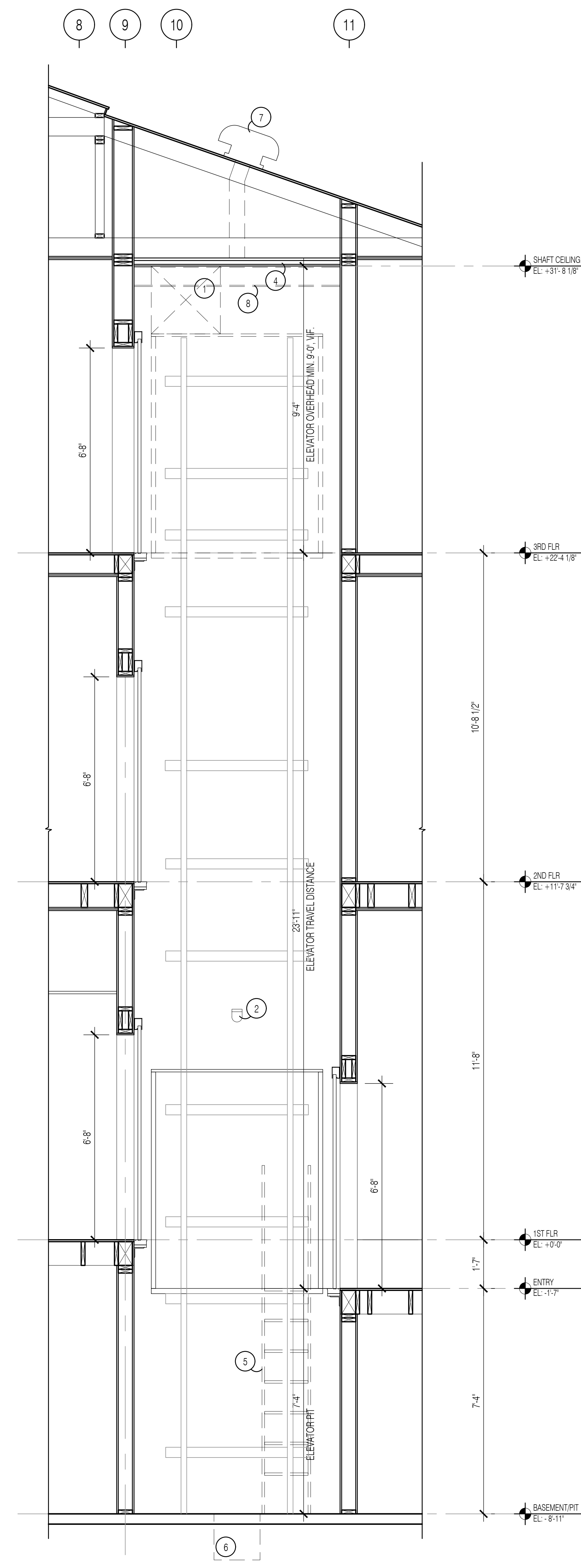
**5 ELEVATOR SHAFT PLAN @ 2ND FLOOR**  
SCALE: 1/2" = 1'-0" (IF 11X17: NTS)



**4 ELEVATOR SHAFT PLAN @ 1ST FLOOR**  
SCALE: 1/2" = 1'-0" (IF 11X17: NTS)



**7 SECTION THRU ELEVATOR SHAFT**  
SCALE: 1/2" = 1'-0" (IF 11X17: NTS)



**Norwescap**  
**Old Sullivan Building**  
**Remodeling Project**

PROJECT LOCATION  
LOT: BLOCK:  
371 S Main Street  
Phillipsburg, NJ 08865  
Warren County

CLIENT  
**NORWESCAP**  
350 Marshall Street  
Phillipsburg, NJ 08865

ARCHITECT  
**BEN HORTEN**  
architecture & design  
312 State Route 10, Randolph, NJ 07869  
Tel: 973.442.5880 Fax: 973.442.5886

CONSULTANT

Issues and Revisions				
No.	Date	Issues and Revisions	By	Check
1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
ELEVATOR DETAILS

Computer File:  
P:\22163 Norwescap Sullivan Bldg 371 S. Main St.  
Phillipsburg\drawings\06 CD Update\A9.01 Det Elevator.dwg

**A9.01**

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# Norwescap Old Sullivan Building Remodeling Project

PROJECT LOCATION

LOT: BLOCK:  
371 S Main Street  
Phillipsburg, NJ 08865  
Warren County

CLIENT

**NORWESCAP**  
350 Marshall Street  
Phillipsburg, NJ 08865

ARCHITECT



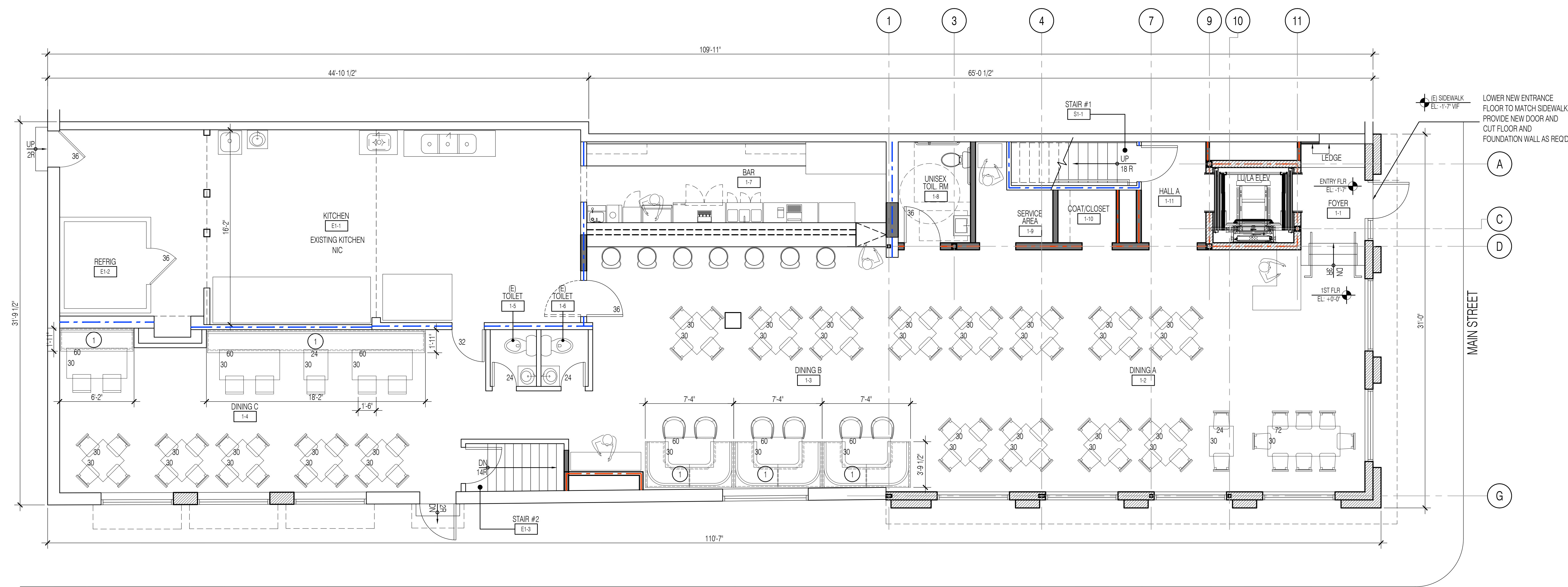
CONSULTANT

### KEY NOTES:

- 1 PRE-MADE FURNITURE BANQUET SEAT. GC TO PROVIDE OWNER WITH OPTIONS FOR FINAL SELECTION.

### GENERAL NOTES:

- 1 REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01
- 2 ALL FURNITURE SHOWN IS FOR REFERENCE ONLY. FINAL SELECTIONS TO BE MADE BY CLIENT. CONTRACTOR TO COORDINATE FINAL FURNITURE LAYOUT & SPEC W/ OWNER'S INTERIOR DESIGNER & FURNITURE VENDOR.
- 3 FURNITURE VENDOR TO COORDINATE ALL CLEAR WIDTHS GIVEN IN A2.01 WITH FURNITURE THAT WILL BE USED.
- 4 REFER TO MEP ENGINEER'S DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING, AND HVAC SYSTEMS.



### LEGEND:

- EXISTING WALL TO REMAIN
- NEW WALL
- NEW DOOR
- EXISTING DOOR TO REMAIN

No.	Date	Issues and Revisions	By	Check
1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
PROPOSED FIRST FLOOR REFERENCE FURNITURE PLAN

Computer File:  
P:\22163 Norwescap Sullivan Bldg 371 S. Main St,  
Phillipsburg\drawings\06 CD Update\A10.01 1st Flr Ref  
Furn.dwg

# A10.01

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**LEGEND:**

	EXISTING WALL TO REMAIN
	NEW WALL
	NEW DOOR
	EXISTING DOOR TO REMAIN

- GENERAL NOTES:**
- REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
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  - FURNITURE VENDOR TO COORDINATE ALL CLEAR WIDTHS GIVEN IN A2.01 WITH FURNITURE THAT WILL BE USED.
  - REFER TO MEP ENGINEER'S DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING, AND HVAC SYSTEMS.

**PROJECT**

## Norwescap Old Sullivan Building Remodeling Project

**PROJECT LOCATION**

LOT: BLOCK:

371 S Main Street  
Phillipsburg, NJ 08865  
Warren County

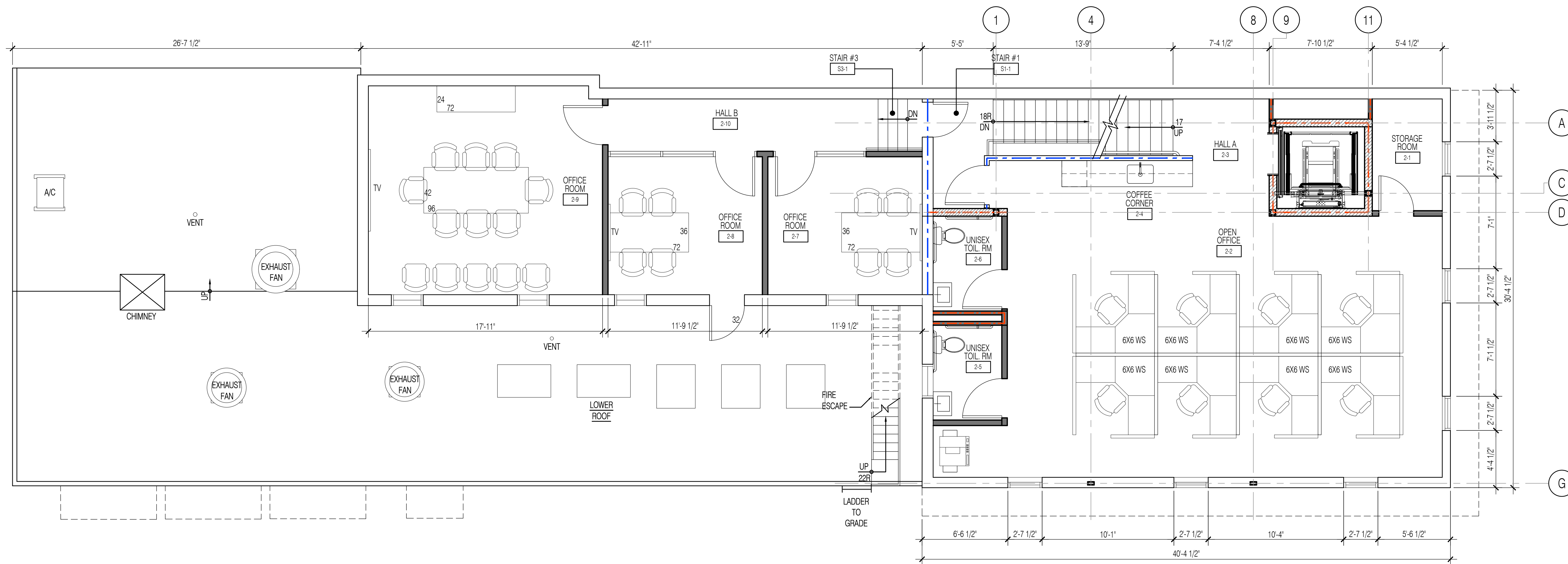
**CLIENT:**

**NORWESCAP**  
350 Marshall Street  
Phillipsburg, NJ 08865

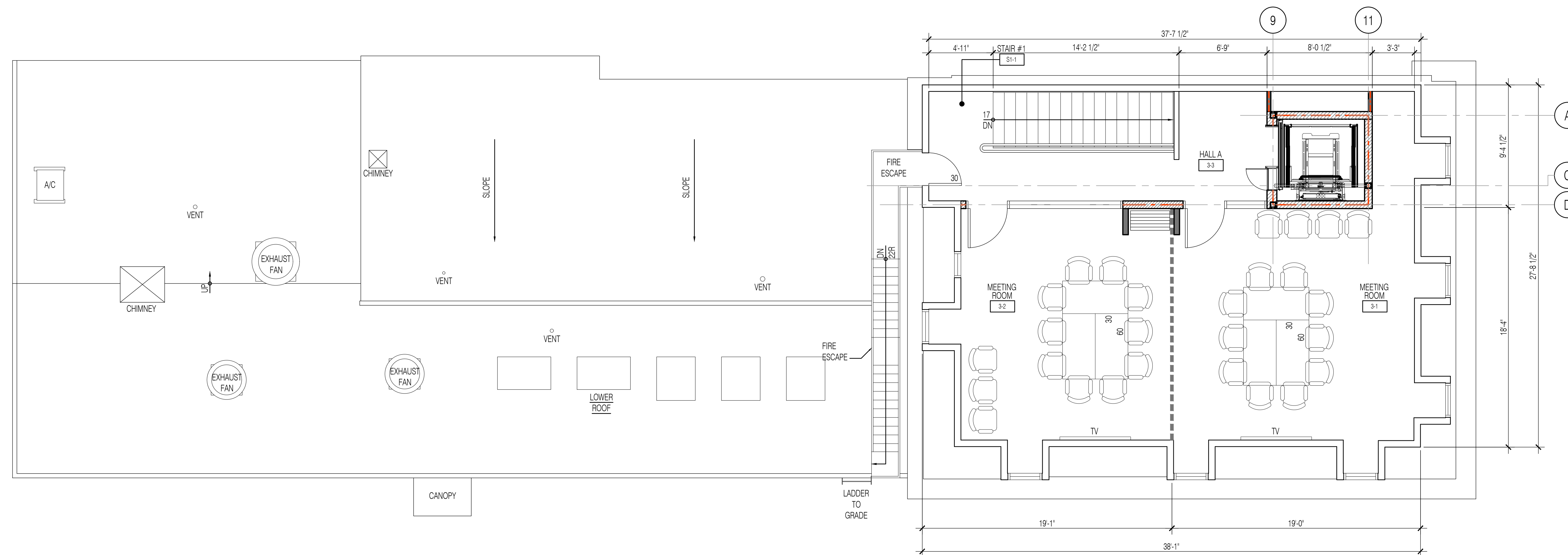
**ARCHITECT:**

**BEN HORTEN**  
architecture & design  
312 State Route 10, Randolph, NJ 07869  
Tel: 973.442.5880 Fax: 973.442.5886

**CONSULTANT**



**1 PROPOSED SECOND FLOOR REFERENCE FURNITURE PLAN**  
SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)



**1 PROPOSED THIRD FLOOR REFERENCE FURNITURE PLAN**  
SCALE: 1/4"=1'-0" (IF 11 X 17, SCALE: NTS)

No.	Date	Issues and Revisions	By	Check
1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
PROPOSED SECOND & THIRD FLOOR REFERENCE FURNITURE PLAN

Computer File:  
P:\22163 Norwescap Sullivan Bldg 371 S. Main St,  
Phillipsburg\drawings\06 CD Update\A10.02 2nd & 3rd Ref  
Furn.dwg

**A10.02**

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**WALL FINISHES:**

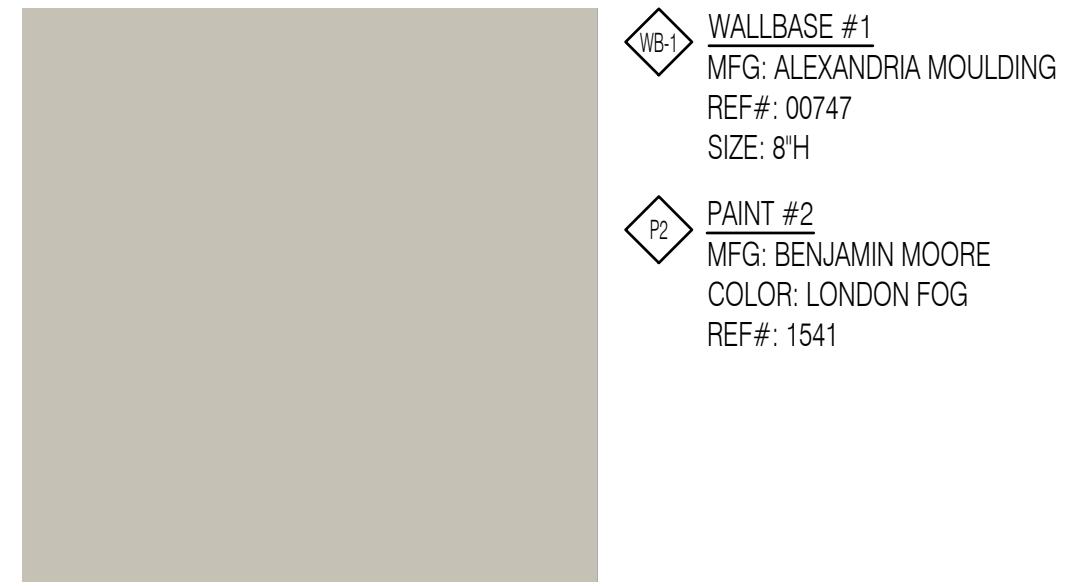


**P1** PAIN#1  
MFG: BENJAMIN MOORE  
COLOR: WHITE OPULENCE  
REF#: OC-69



**P2** PAIN#2  
MFG: BENJAMIN MOORE  
COLOR: LONDON FOG  
REF#: 1541

**WALLBASE:**

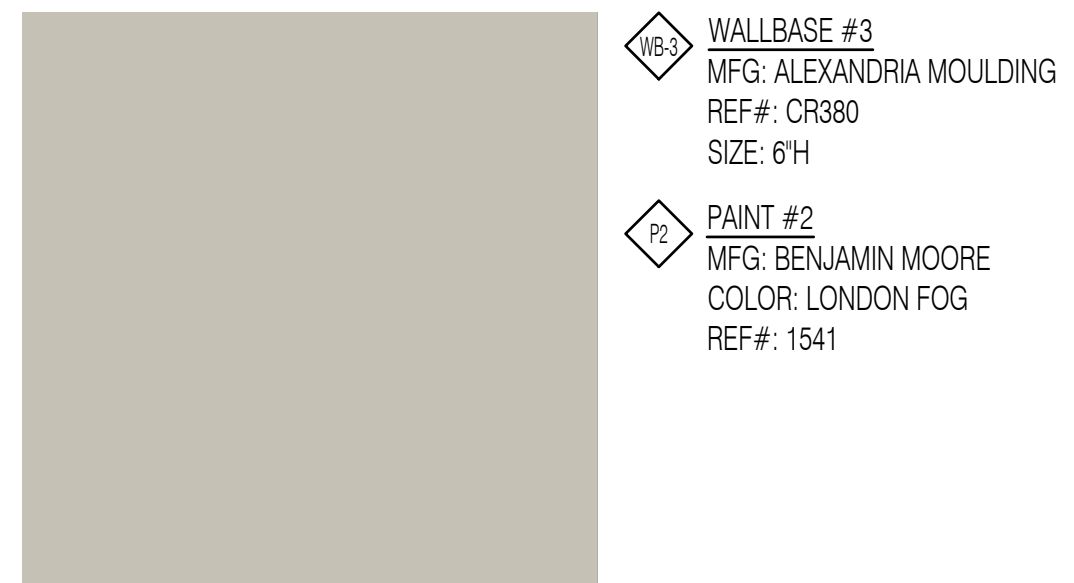


**WB-1** WALLBASE #1  
MFG: ALEXANDRIA MOULDING  
REF#: 00747  
SIZE: 8'H

**P2** PAIN#2  
MFG: BENJAMIN MOORE  
COLOR: LONDON FOG  
REF#: 1541



**WB-2** WALLBASE #2  
MFG: ROPPE  
COLLECTION: VINYL WALL BASE  
COLOR: BEIGEWOOD  
REF#: 639  
SIZE: 4'H



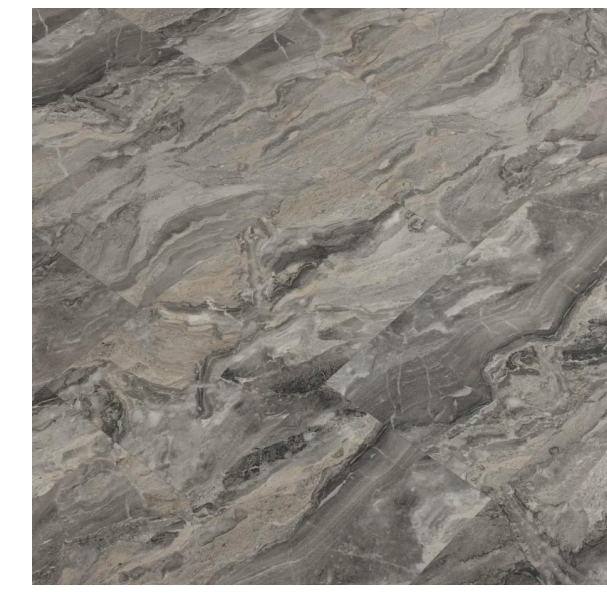
**WB-3** WALLBASE #3  
MFG: ALEXANDRIA MOULDING  
REF#: CR380  
SIZE: 6'H

**P2** PAIN#2  
MFG: BENJAMIN MOORE  
COLOR: LONDON FOG  
REF#: 1541

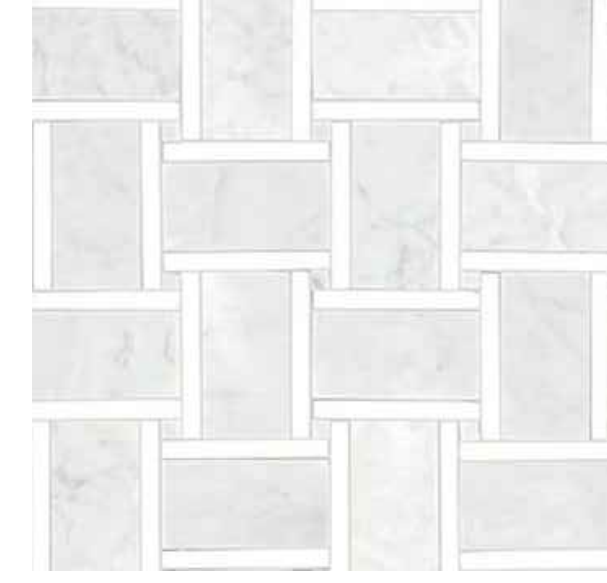
**FLOOR FINISHES:**



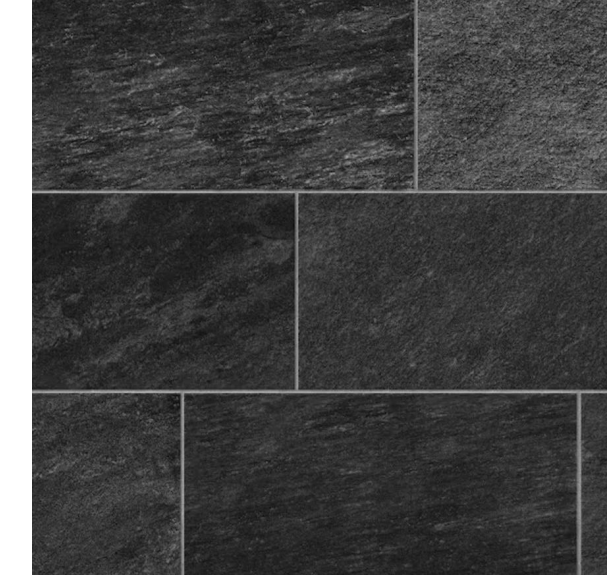
**HF-1** HARDWOOD  
MFG: CARLISLE WIDE PLANK FLOORS  
COLLECTION: INSPIRE  
PRODUCT: ENDURING MOUNTAIN  
SPECIES: WHITE OAK



**LF-1** LAMINATE WOOD TILES  
MFG: CALI FLOORS  
PRODUCT: SEAL ROCK MARBLE  
LAMINATE SHOREBREAK



**MT-1** MOSAIC MARBLE TILE  
MFG: PORCELANOSA  
PRODUCT: ESSENTIAL BRAID CARRARA  
SIZE: 12" X 12"



**MT-2** MATTE PORCELAIN TILE  
MFG: THE HOME DEPOT  
PRODUCT: ESSENTIAL BRAID CARRARA  
SIZE: 12" X 24"



**LVF-1** LUXURY VINYL TILE  
MFG: KAHR  
COLLECTION: CLICK (5 MM)  
PRODUCT: KANNUR



**LVF-2** LUXURY VINYL TILES  
MFG: KAHR  
COLLECTION: IMPRESSION (6 MM)  
PRODUCT: DOVECOT

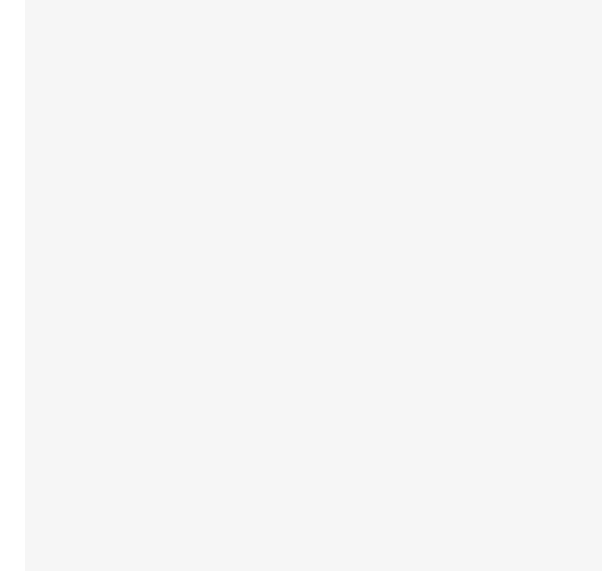
**MILLWORK:**



**SS-1** SOLID SURFACE#1  
MFG: THE HOME DEPOT  
COLOR: CALACATTA PERLATO



**PL-1** PLASTIC LAMINATE #1  
MFG: FORMICA  
COLLECTION: FORMICA COMPACT  
COLOR: ASHWOOD OAK  
REF#: 5786



**PL-2** PLASTIC LAMINATE #2  
MFG: FORMICA  
COLLECTION: FORMICA COMPACT  
COLOR: WHITE  
REF#: 949

**CARPET:**



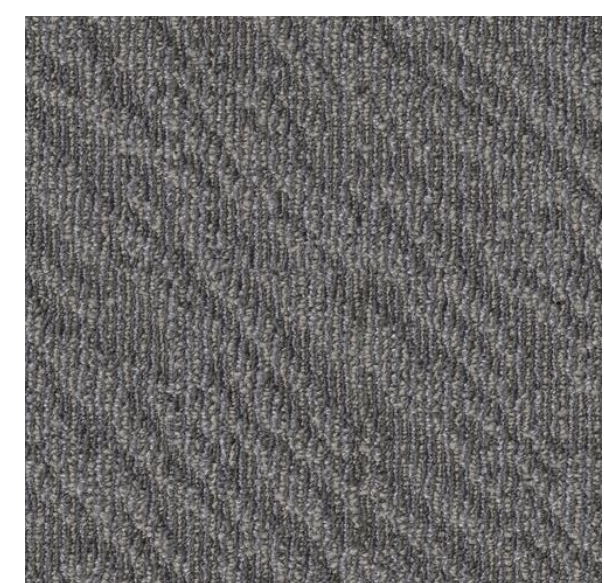
**CT-1** CARPET TILE  
MFG: SHAW CONTRACT  
COLLECTION: PARTNER TILE  
COLOR: FUSE; 52515



**CT-2** CARPET TILE  
MFG: SHAW CONTRACT  
COLLECTION: PARTNER TILE  
COLOR: BALANCED; 52485



**CT-3** CARPET TILE  
MFG: SHAW CONTRACT  
COLLECTION: PARTNER TILE  
COLOR: UNION; 52335

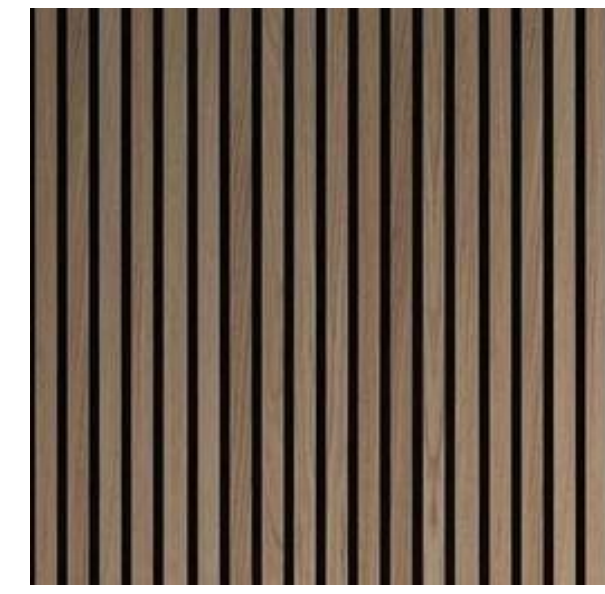


**CB-1** CARPET BROADLOOM  
MFG: SHAW CONTRACT  
COLLECTION: FOND  
COLOR: WVD; 90515

**CEILING:**

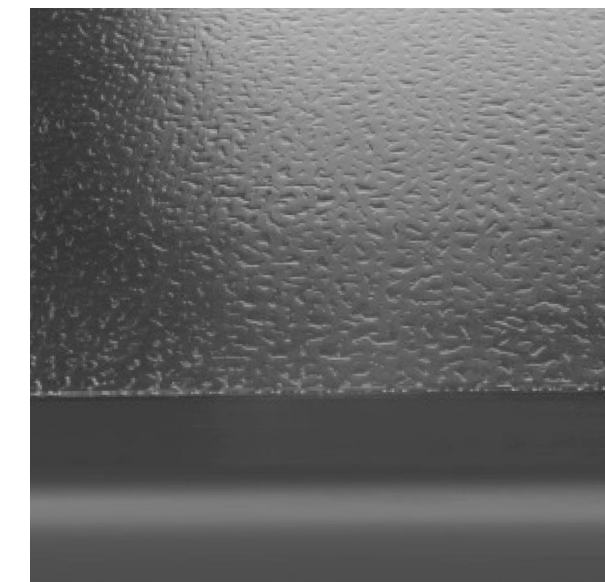


**CS-1** CEILING SLATS  
MFG: ARMSTRONG  
STYLE: WOODWORKS SQUARE GRILLE  
REGULAR VERTICAL 15/16  
COLOR: RED OAK



**ACS-1** ACOUSTIC CEILING SLATS  
MFG: THE WOOD VENEER HUB  
COLOR: AMERICAN WALNUT  
SIZE: 94.49" X 12.60"  
FINISH: NATURAL

**STAIRS:**



**R** RUBBER STAIR TREAD AND RISER  
MFG: ROPPE  
STYLE: HAMMERED  
COLOR: CHARCOAL

**GENERAL NOTES:**

- REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
- ALL FINAL FINISHES TO BE SELECTED BY CLIENT. GC TO PROVIDE THE CLIENT WITH SAMPLES FOR APPROVAL.
- IN ALL AREAS, FLOOR COVERING SHALL COMPLY WITH THE DOC FF-1 "pill test" (CPSC 16 CFR, PART 1630).
- ALL FLOORING SHALL BE MINIMUM CLASS II (PER IBC 2021, SECTION 804.4.2)
- INTERIOR WALL & CEILING FINISH REQUIREMENTS PER IBC 2021 TABLE 803.13  
1ST FLOOR RESTAURANT: CLASS B  
2ND & 3RD FLOOR STAIR & HALL: CLASS B  
2ND & 3RD FLOOR OFFICE: CLASS C
- ALL EXPOSED WALLS TO BE PAINTED TO MATCH COLOR P-1 UNLESS OTHERWISE NOTED. PATCH & REPAIR WHERE DAMAGED IF REQUIRED. ALL WALLS TO RECEIVE ONE COAT OF PRIMER & TWO COATS OF FINISH PAINT.
- GC TO COORDINATE SURFACE PREP REQUIREMENTS WITH SCHEDULED FINISH MATERIALS SPECIFICATIONS.
- PROVIDE FLOOR TRANSITION WHERE DISSIMILAR FLOORING MEETS. TRANSITION STRIP TO BE SCHLUTER OF APPROVED EQUAL.
- FOR CEILING DETAIL REFER A3.01.

-ALL FINAL FINISHES TO BE SELECTED BY CLIENT. GC TO PROVIDE THE CLIENT WITH SAMPLES FOR APPROVAL.  
- FINISH IMAGES ON THIS SHEET FOR REFERENCE ONLY. COLORS MAY VARY SLIGHTLY FROM ACTUAL PRODUCT

**PROJECT**

**Norwescap  
Old Sullivan Building  
Remodeling Project**

**PROJECT LOCATION**

LOT: BLOCK:

371 S Main Street  
Phillipsburg, NJ 08865  
Warren County

**CLIENT**

**NORWESCAP**  
350 Marshall Street  
Phillipsburg, NJ 08865

**ARCHITECT**

**B HORTEN**  
architecture & design  
312 State Route 10, Randolph, NJ 07869  
Tel: 973.442.5880 Fax: 973.442.5886

**CONSULTANT**

Issues and Revisions				
No.	Date	Issues and Revisions	By	Check
1.	05/17/24	ISSUE FOR BID	SA	BH

**Registration and Signature**

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
FINISH LEGEND

Computer File:  
P:\22163 Norwescap Sullivan Bldg 371 S. Main St.  
Phillipsburg\drawings\06 CD Update\A11.00 Finish Legend.dwg

**A11.00**  
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# Norwescap Old Sullivan Building Remodeling Project

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 350 Marshall Street  
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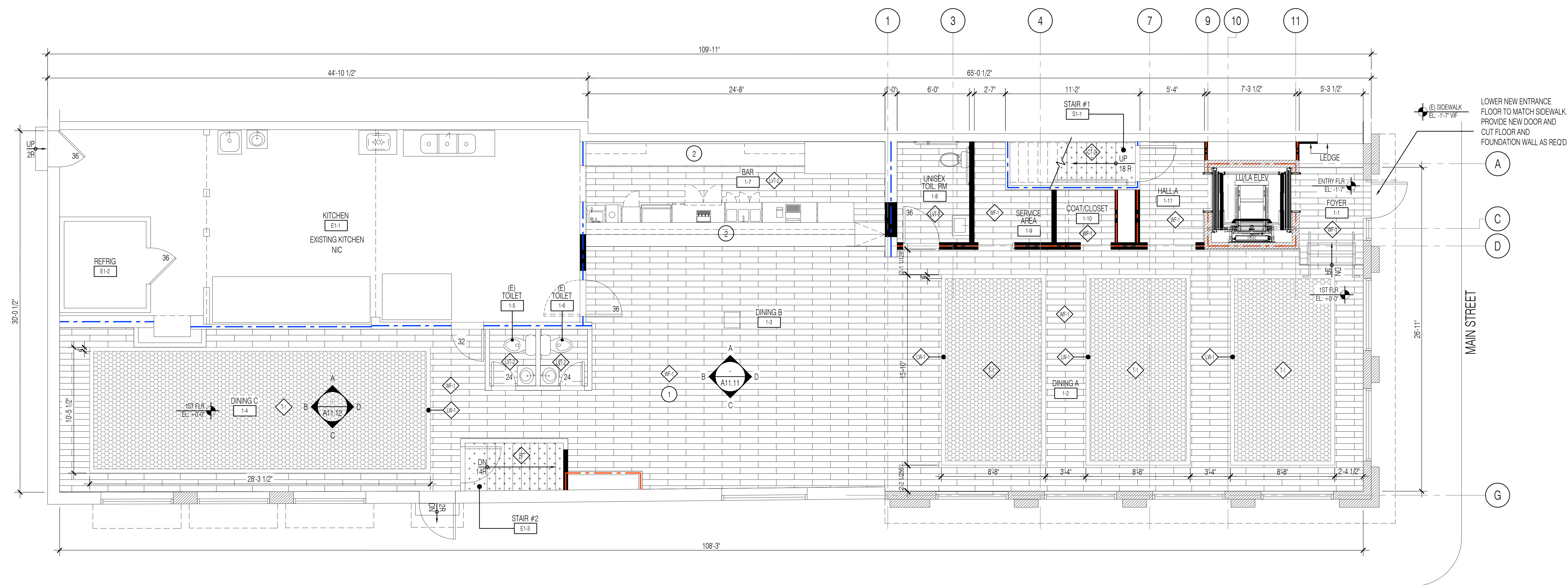
CONSULTANT

**KEY NOTES:**

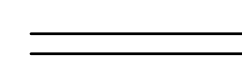

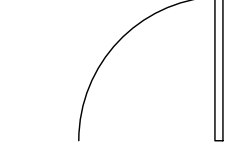
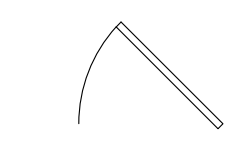
- 1 PROVIDE ALTERNATE BID TO REPLACE WF-1 WITH LVT-2.
- 2 REFER TO SHEET A11.00 FOR BAR COUNTER FINISH.

**GENERAL NOTES:**

1. REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
2. ALL FINAL FINISHES TO BE SELECTED BY CLIENT. GC TO PROVIDE THE CLIENT WITH SAMPLES FOR APPROVAL.
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5. INTERIOR WALL & CEILING FINISH REQUIREMENTS PER IBC 2021 TABLE 803.13  
 1ST FLOOR RESTAURANT: CLASS B  
 2ND & 3RD FLOOR STAIR & HALL: CLASS B  
 2ND & 3RD FLOOR OFFICE: CLASS C
6. ALL EXPOSED WALLS TO BE PAINTED TO MATCH COLOR P-1 UNLESS OTHERWISE NOTED. PATCH & REPAIR WHERE DAMAGED IF REQUIRED. ALL WALLS TO RECEIVE ONE COAT OF PRIMER & TWO COATS OF FINISH PAINT.
7. GC TO COORDINATE SURFACE PREP REQUIREMENTS WITH SCHEDULED FINISH MATERIALS SPECIFICATIONS.
8. PROVIDE FLOOR TRANSITION WHERE DISSIMILAR FLOORING MEETS. TRANSITION STRIP TO BE SCHLUTER OF APPROVED EQUAL.
9. FOR CEILING DETAIL REFER A3.01.



**LEGEND:**

-  EXISTING WALL TO REMAIN
-  NEW WALL
-  NEW DOOR
-  EXISTING DOOR TO REMAIN

No.	Date	Issues and Revisions	By	Check
1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
 PROPOSED FIRST FLOOR FINISH PLAN

Computer File:  
 P:\22163 Norwescap Sullivan Bldg 371 S. Main St.  
 Phillipsburg\drawings\06 CD Update\A11.01 1st Flr Finish  
 Plan.dwg

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GENERAL NOTES:  
1. REFER TO A11.01 FOR ALL NOTES.

PROJECT  
**Norwescap  
Old Sullivan Building  
Remodeling Project**

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PROJECT LOCATION  
LOT: BLOCK:  
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Phillipsburg, NJ 08865  
Warren County

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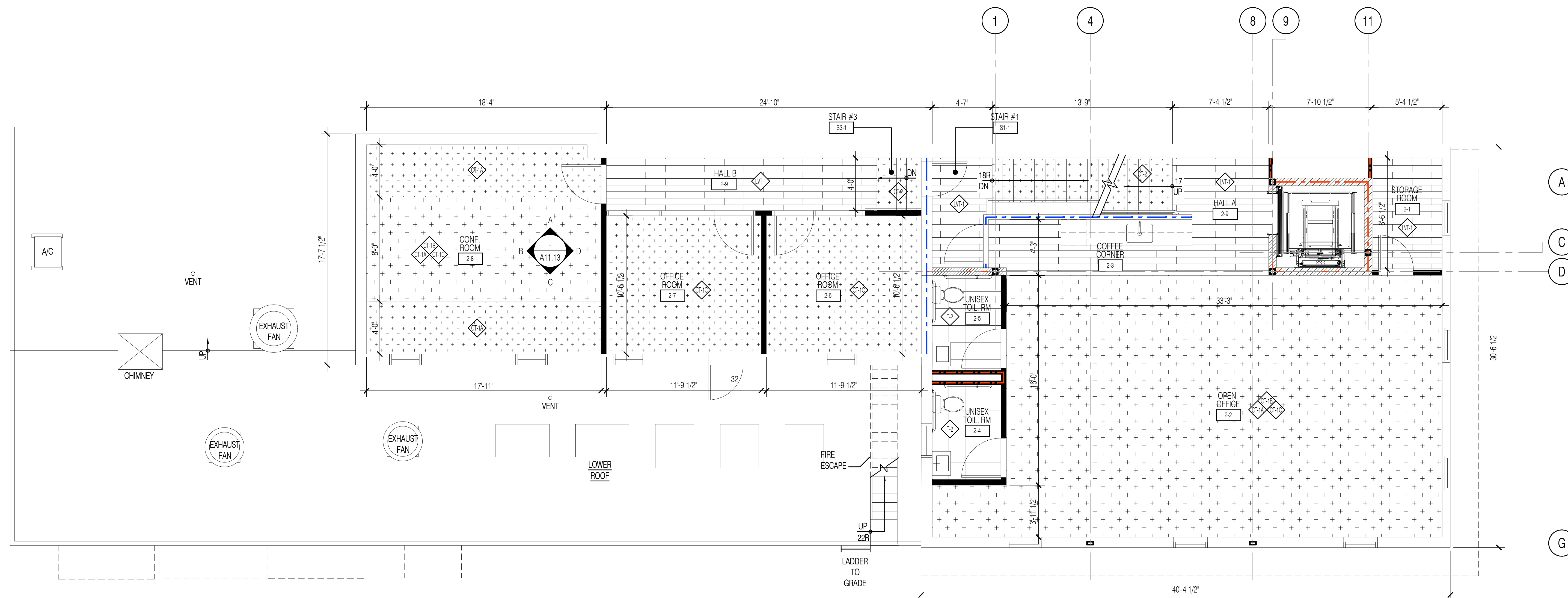
CLIENT:  
**NORWESCAP**  
350 Marshall Street  
Phillipsburg, NJ 08865

---

ARCHITECT  
**B HORTEN**  
architecture & design  
312 State Route 10, Randolph, NJ 07869  
Tel: 973.442.5880 Fax: 973.442.5886

---

CONSULTANT



LEGEND:

- EXISTING WALL TO REMAIN
- NEW WALL
- NEW DOOR
- EXISTING DOOR TO REMAIN

Issues and Revisions				
No.	Date	Issues and Revisions	By	Check
1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

Registration and Signature

Benjamin J. Horten NJ License No: A115794  
Drawing Description:  
PROPOSED SECOND FLOOR FINISH PLAN  
Computer File:  
P:\22163 Norwescap Sullivan Bldg 371 S. Main St.  
Phillipsburg\drawings\06 CD Update\A11.02 2nd Flr Finish  
Plan.dwg

**A11.02**

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# Norwescap Old Sullivan Building Remodeling Project

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ARCHITECT



**BEN HORTEN**  
architecture & design  
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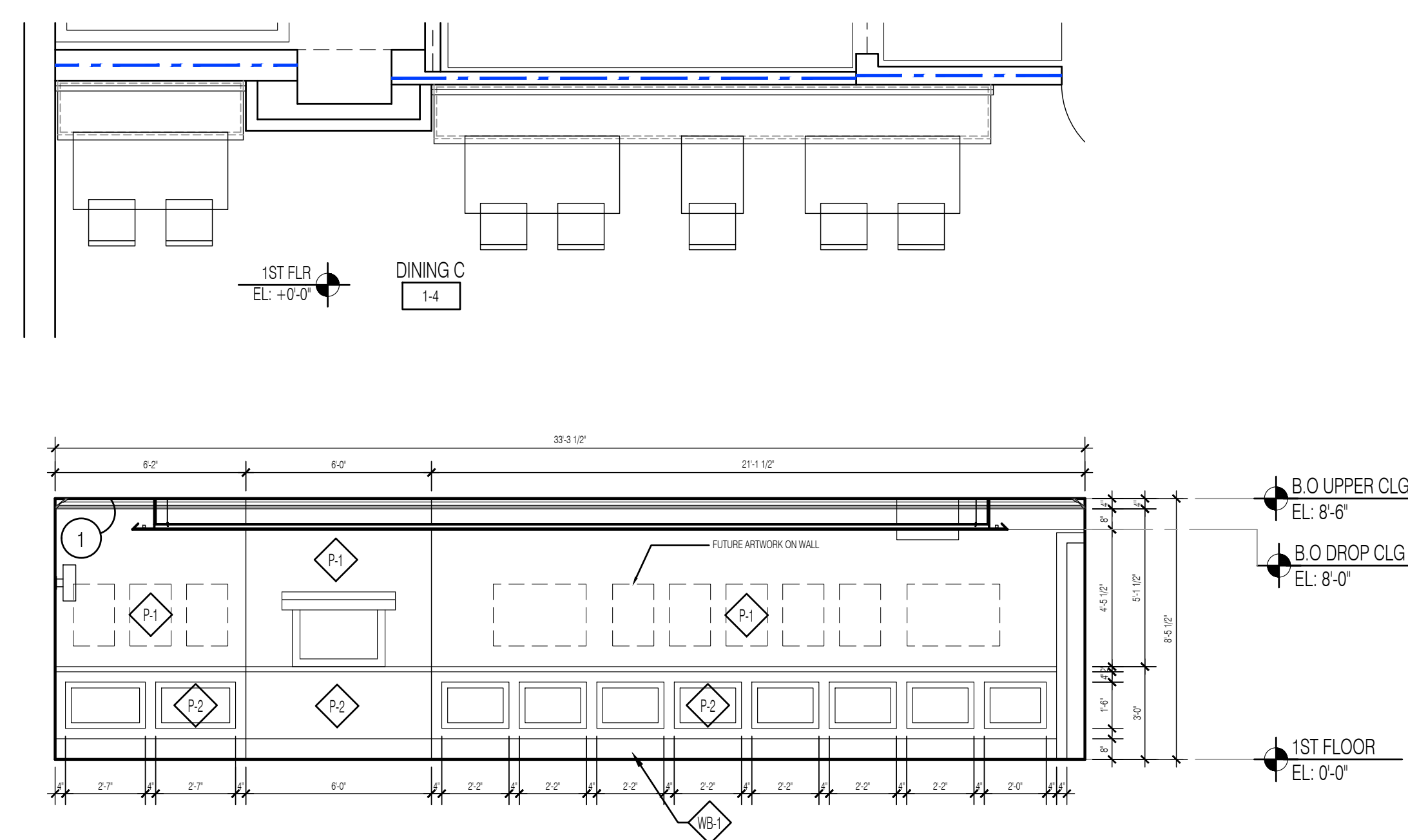
CONSULTANT

### GENERAL NOTES:

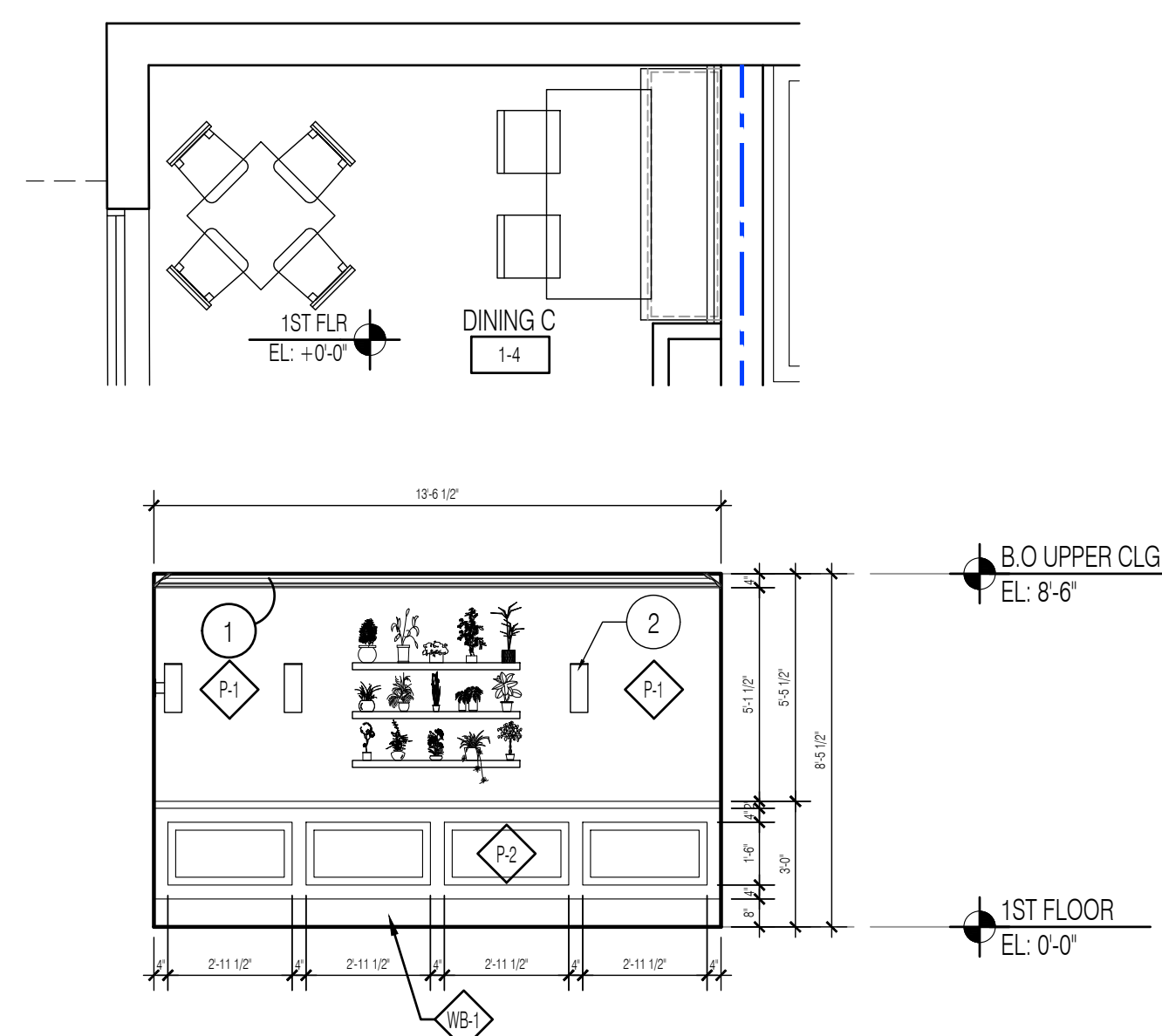
- REFER TO ALL APPLICABLE CODES AND NOTES ON SHEET A0.00 THRU A0.01.
- REVIEW ALL DRAWINGS IN THIS SET AND COORDINATE ALL WORK AS REQUIRED
- FOR BUILDING MECHANICAL, PLUMBING, & ELECTRICAL REQUIREMENTS REFER TO M.E.P. DRAWINGS.

### KEY NOTES:

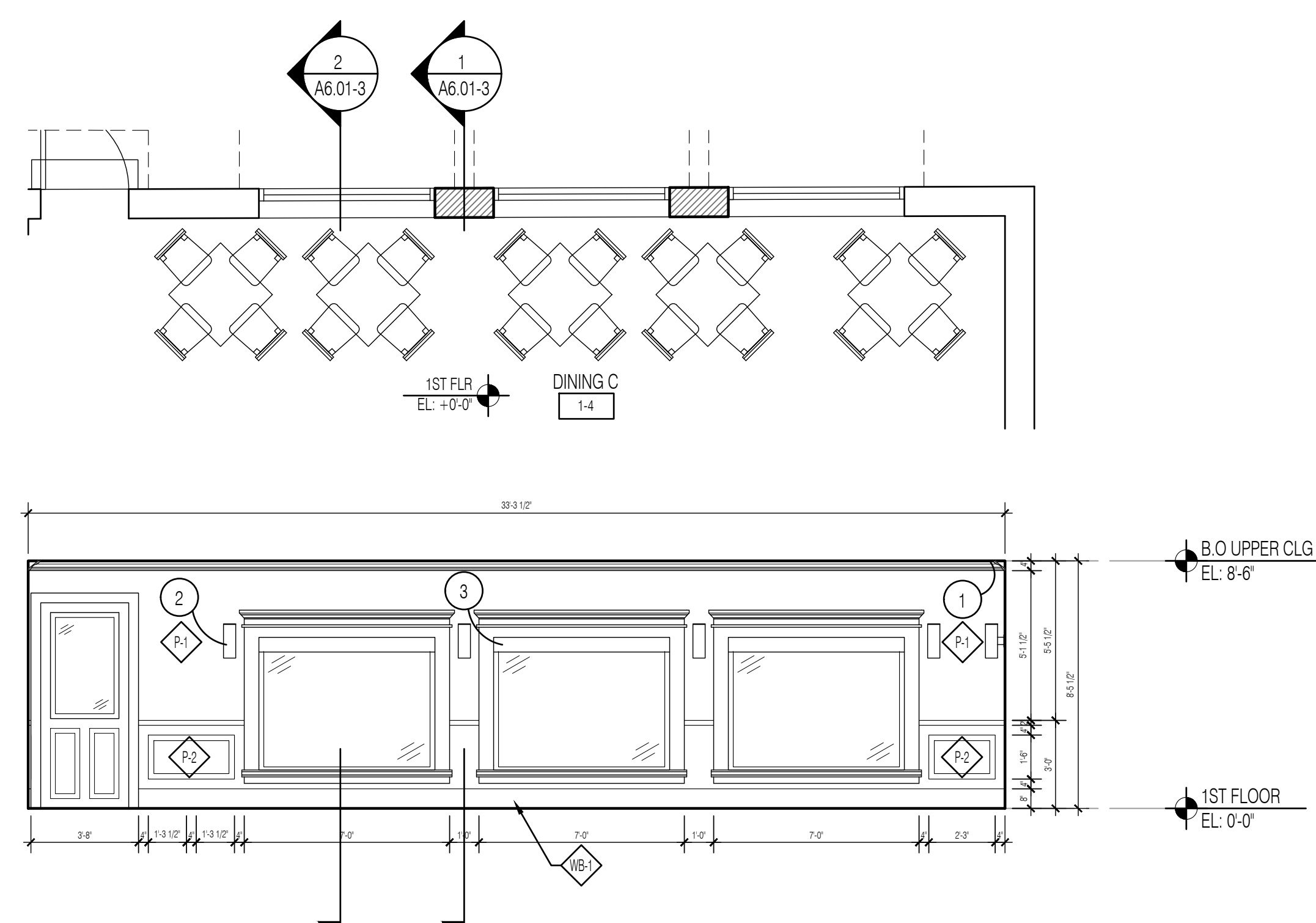
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- WALL SCOFFCE
- ROLLER SHADES BY BLINDS TO GO.  
PRODUCT: 35088076  
STYLE: DUBLIN 80  
COLOR: SAND



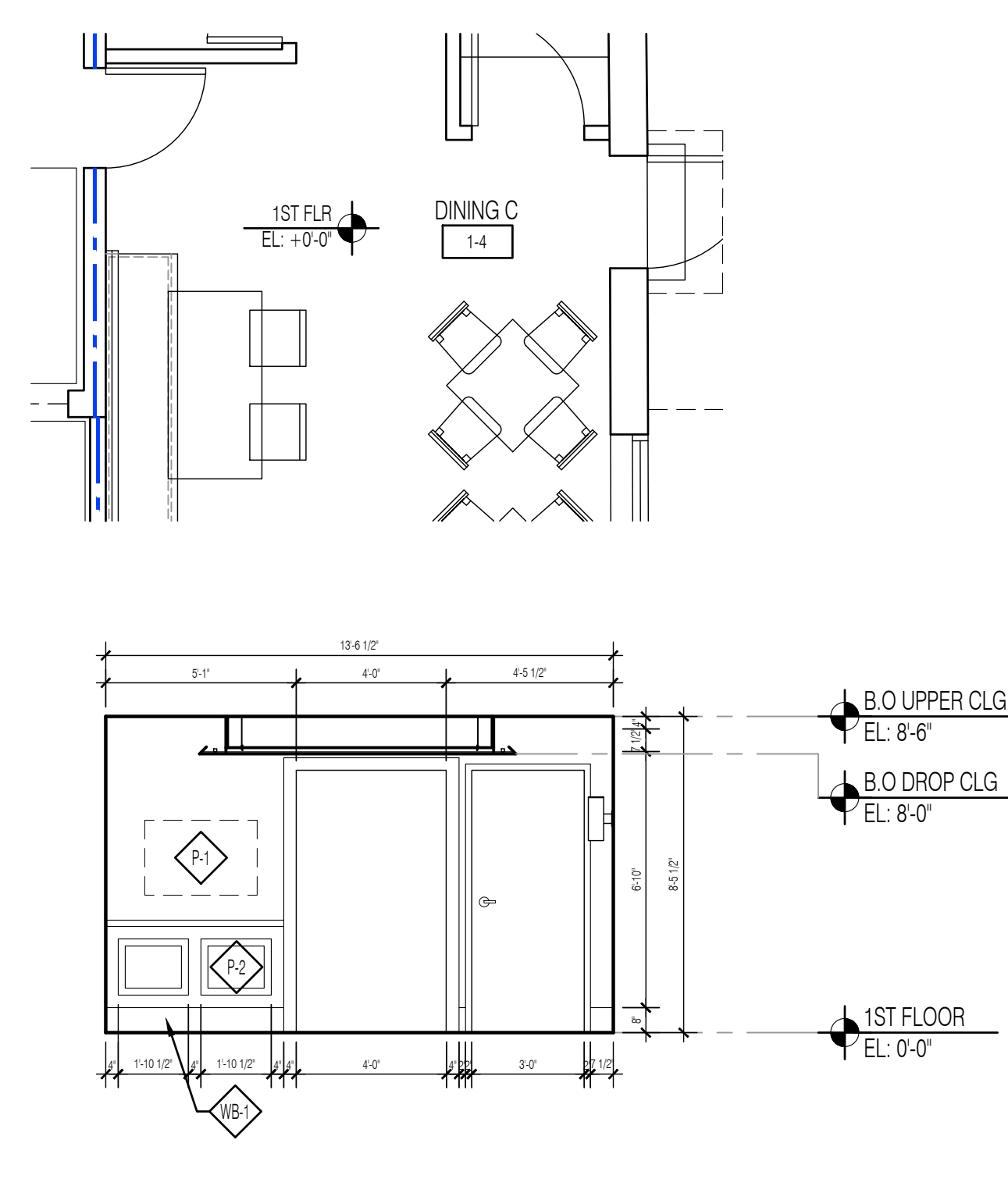
ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

Issues and Revisions				
No.	Date	Issues and Revisions	By	Check
1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
INTERIOR ELEVATIONS @ 1ST FLR DINING-2

Computer File:  
P:\22163 Norwescap Sullivan Bldg 371 S. Main St.  
Phillipsburg\drawings\06 CD Update\A11.12 Int Elev @  
Din-2.dwg

# Norwescap Old Sullivan Building Remodeling Project

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Phillipsburg, NJ 08865  
Warren County

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ARCHITECT

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architecture & design  
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Tel: 973.442.5880 Fax: 973.442.5886

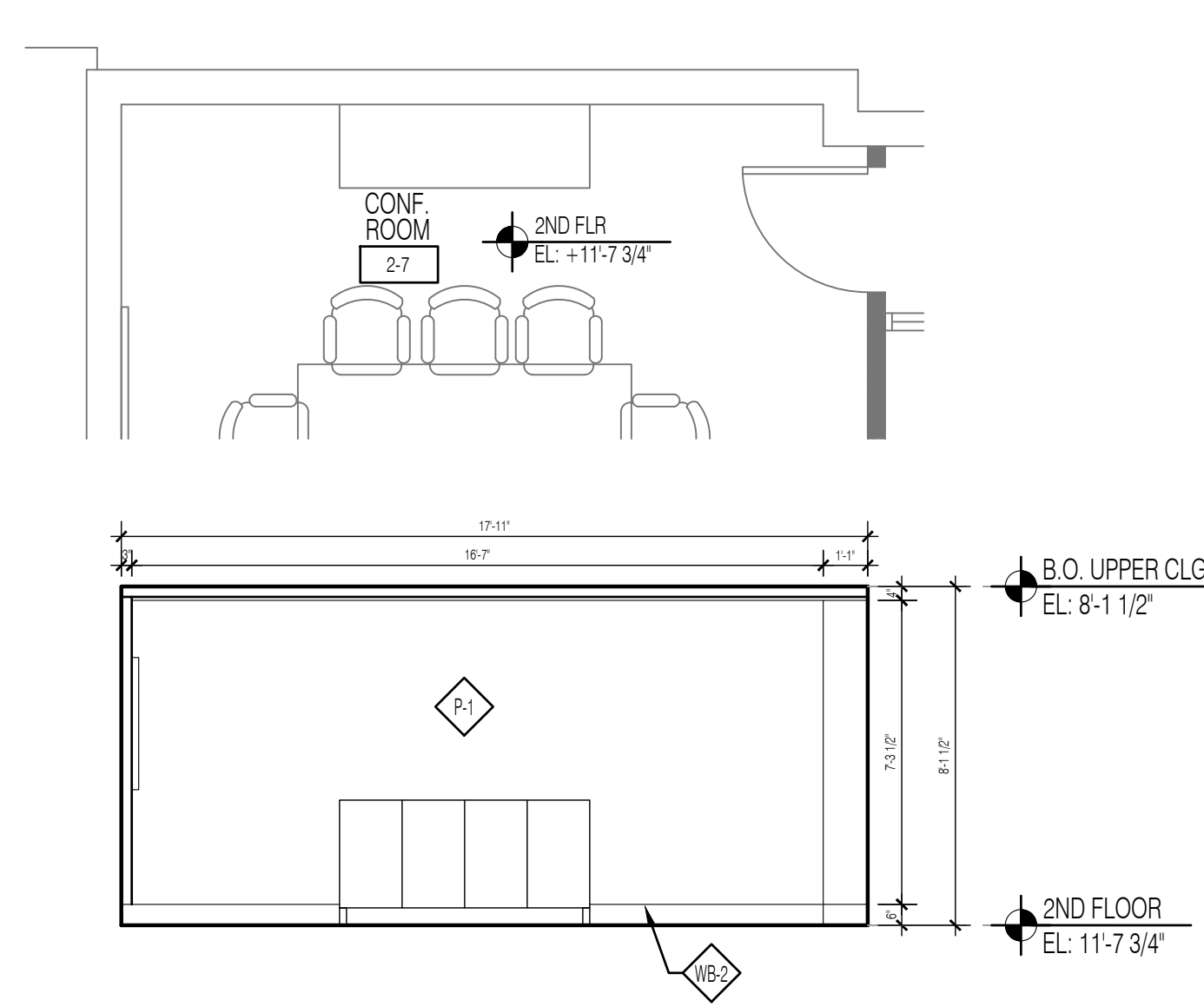
CONSULTANT

**GENERAL NOTES:**

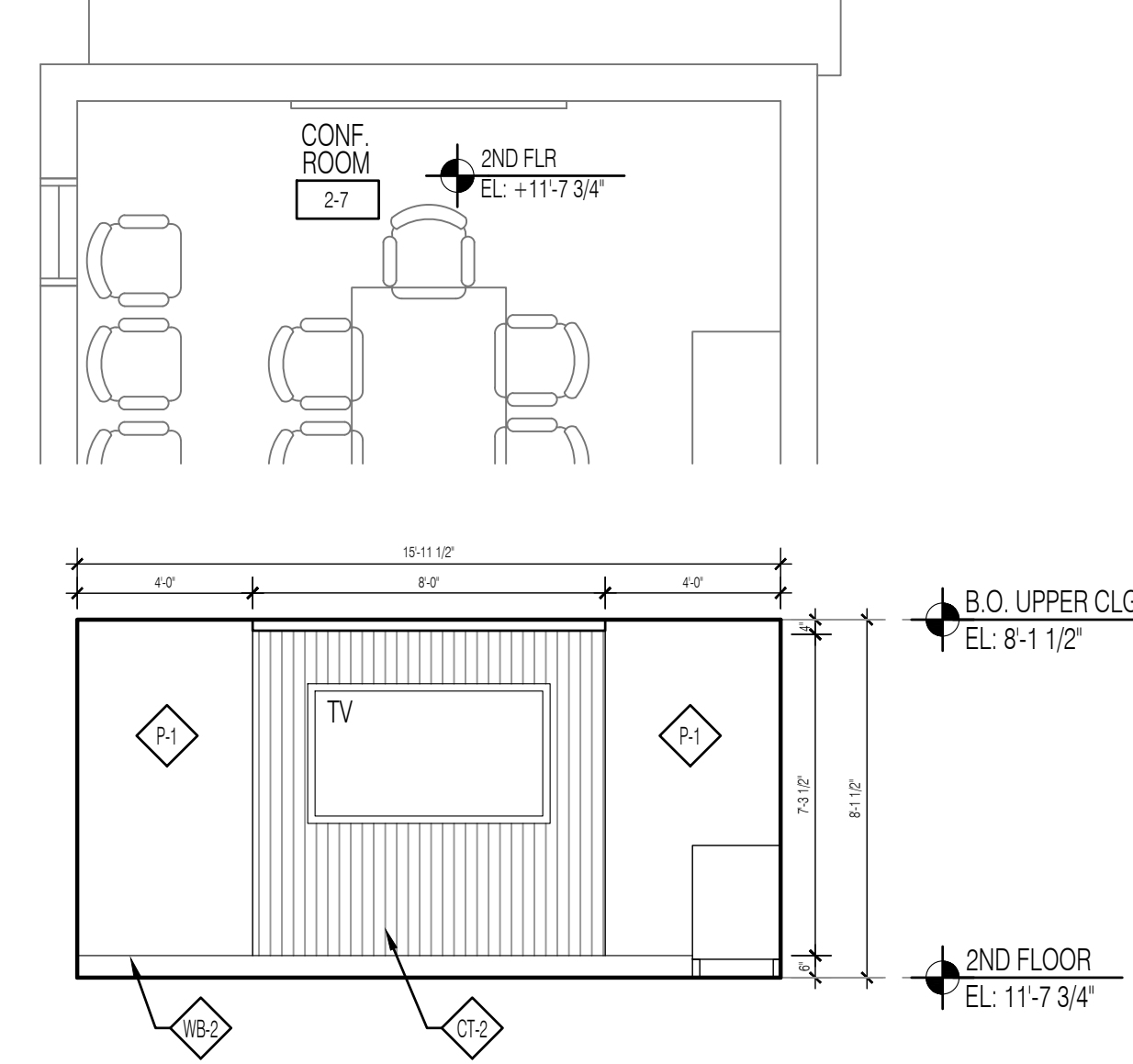
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**KEY NOTES:**

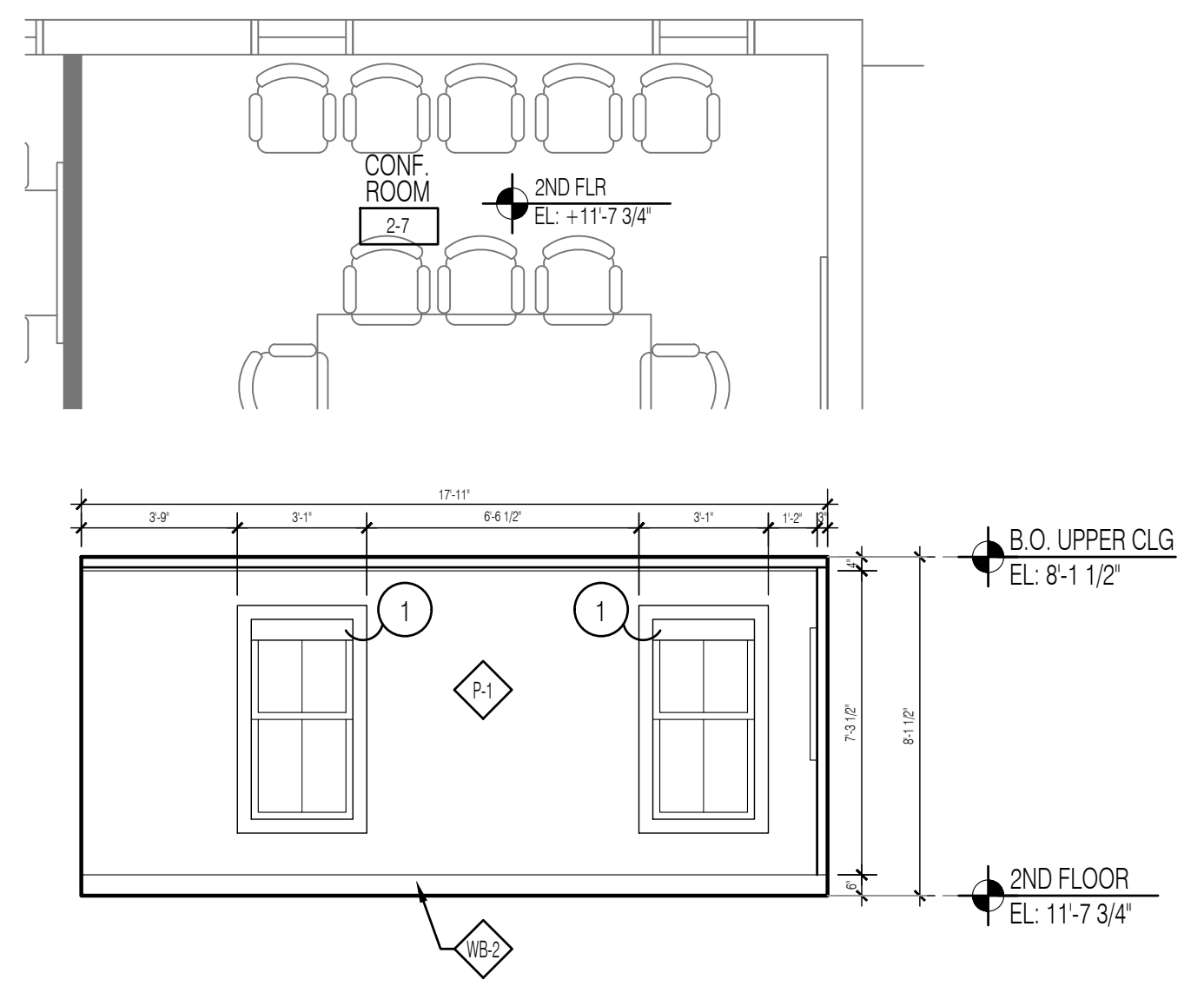
- ROLLER SHADES BY BLINDS TO GO,  
PRODUCT: 35088076  
STYLE: DUBLIN 60  
COLOR: SAND



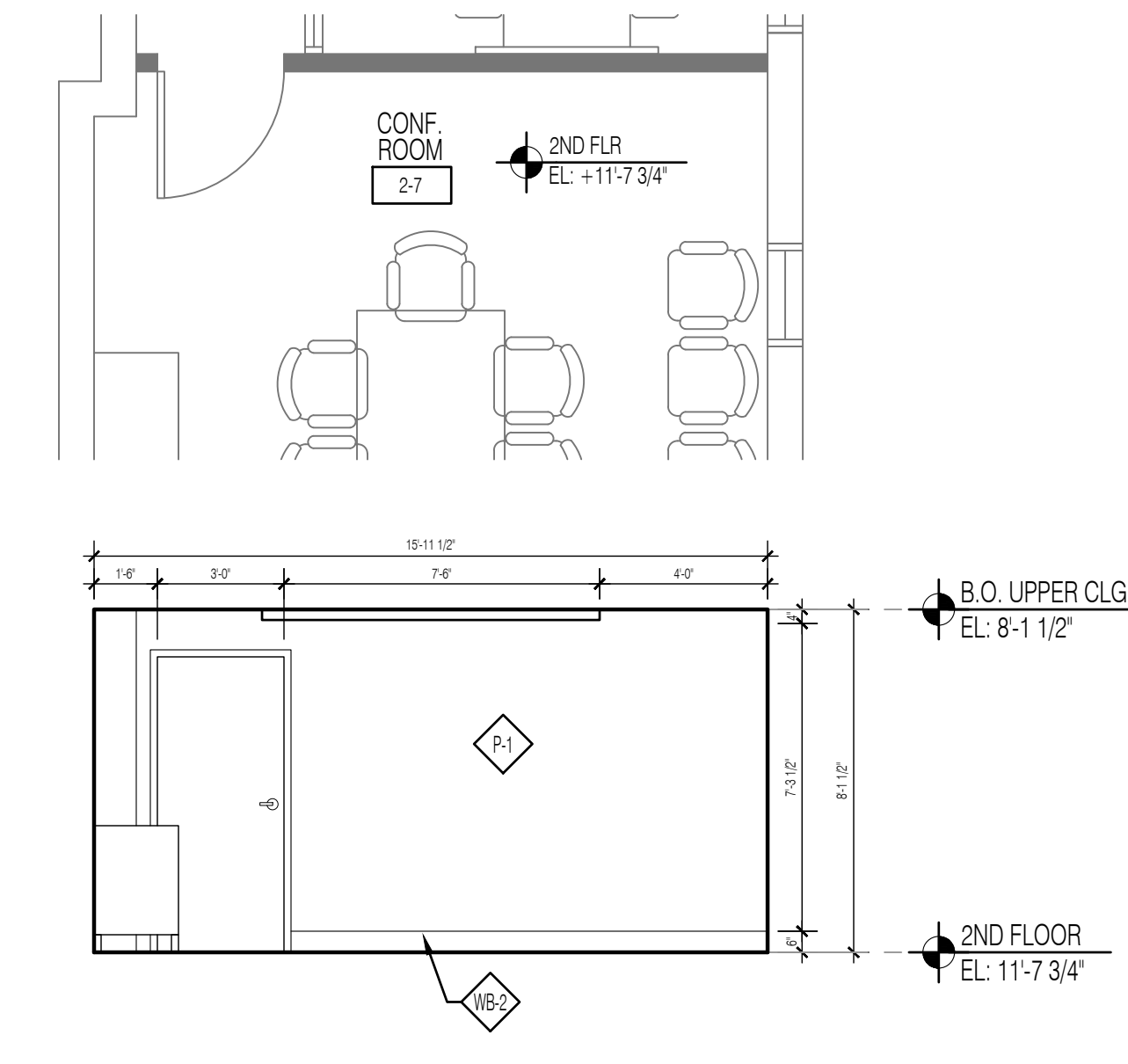
ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

Issues and Revisions

No.	Date	Issues and Revisions	By	Check
1.	03/04/24	FACADE & OFFICE CONCEPT	SA	BH

Registration and Signature

Benjamin J. Horten NJ License No: AI 15794

Drawing Description:  
INTERIOR ELEVATIONS @ 2ND FLR CONFERENCE ROOM

Computer File:  
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Phillipsburg\drawings\06 CD Update\A11.13 Int Elev @ Conf  
Rm.dwg

A11.13

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